



Townsend Town Council Meeting Agenda
February 4th, 2026 @ 7:00 pm
VIA CONFERENCE CALL & Town Hall
141 Main St, Townsend, DE 19734

7:00 pm Town Council Meeting

- I. Call to Order:
- II. Opening Ceremonies
 - A. Roll Call:
 - B. Pledge of Allegiance
 - C. Moment of Silence
 - D. Recognition of Visitors:
 - E. Announcements:
- III. General Citizen Comments
- IV. Review/Adoption of Agenda
- V. Approval/ Rejection of Minutes:
 - A. **ACTION ITEM:** Approval/Rejection of Town Council Minutes from January 7th, 2025 Town Council Meeting.
- VI. **ACTION ITEM:** Discussion and review with potential vote of Council of Final Plans Submission of Minor subdivision "Walnut Street-East" for approval and recordation.
- VII. **ACTION ITEM:** Discussion and review with potential vote of Council of Final Plans Submission of Major Subdivision "Townsend Cove" for approval and recordation.
- VIII. **ACTION ITEM:** Discussion and review of Sanitary Sewer Easement Consideration for Townsend Cove.
- IX. Departmental Reports:
 - A. Mayor S. Lobdell
 - B. New Castle County Councilman David Carter
 - C. Town of Townsend Police Chief's Report
 - 1. ACTION ITEM: Discussion and review with potential vote of Council to approve new Police Salaries for new officers.
 - 2. **ACTION ITEM:** Discussion and review of updates on hiring new members of Police Force.
 - D. Town Solicitor Lisa Hatfield
 - E. Town Engineer Brian Miller

Town Meetings will be held both in person and in a virtual format.

Those wishing to attend virtually may dial **1(301)715-8592**. When directed, provide following meeting ID **827- 6421-7575#** and then the following password **361631#** to enter the meeting. If you choose to access the meeting online click the following link: <https://us02web.zoom.us/j/82764217575?pwd=aHI4RDhTZ0xjME1HV0Z0cHRxSHZ3QT09>

Residents will be able to view documents posted to the meeting tab on the Town website at <https://townsend.delaware.gov> or by joining the meeting via computer.

F. Town Manager Julie Goodyear

1. **ACTION ITEM:** Discussion and review of updates on hiring a new temporary Part-time Public Works Crew Member.

G. Public Works Supervisor Rick Boyer

X. Committee Reports:

A. **Finance Committee:** Chair: Councilman J. Bangura, Co-Chair: Mayor S. Lobdell

1. **ACTION ITEM:** Review and possible discussion on the December 2025 Budget vs. Actual Reports.

B. **Human Resources Committee:** Chair: Councilman Sharif, Co-Chair: Mayor S. Lobdell

C. **Public Works and Land Use Development Committee:** Chair: Councilman M. Chapman, Co-Chair: Councilman S. Sharif

1. **ACTION ITEM:** Opening of PW Facility RFP proposals received.

D. **Public Safety Committee:** Chair: Councilman D. Wiggins, Co-Chair: Councilman J. Bangura

1. **ACTION ITEM:** Discussion and Review with potential vote of Council to approval of Change Order Requests and spending threshold for Police Building Items.

E. **Community Engagement Committee:** Chair: Councilman D. Wiggins

F. **Code Review Committee:** Chair: Mayor S. Lobdell, Co-Chair: Councilman M. Chapman

1. **ACTION ITEM:** Second Reading of “Ordinance 2026-001” as it relates to Chapter 18.28 updates for the Townsend Municipal code with potential vote for approval.

2. **ACTION ITEM:** Second Reading of “Ordinance 2026-002” as it relates to Chapter 16 updates for the Townsend Municipal Code with potential vote for approval.

XI. Discussion of future agenda items.

XII. Recess Council Meeting to Convene Executive Session.

XIII. **Convene Executive Session:** Pursuant to 29 Del. C. §§10004(b)(4)(9), the Town Council will consider a motion to meet in an executive session for the discussion of potential litigation which will include legal advice or opinions from an attorney-at-law and personnel matters.

XIV. **Close Executive Session & Re-convene Council Meeting.**

- A. **ACTION ITEM:** Possible vote of Council.

XV. Adjournment.

PROJECT NOTES:

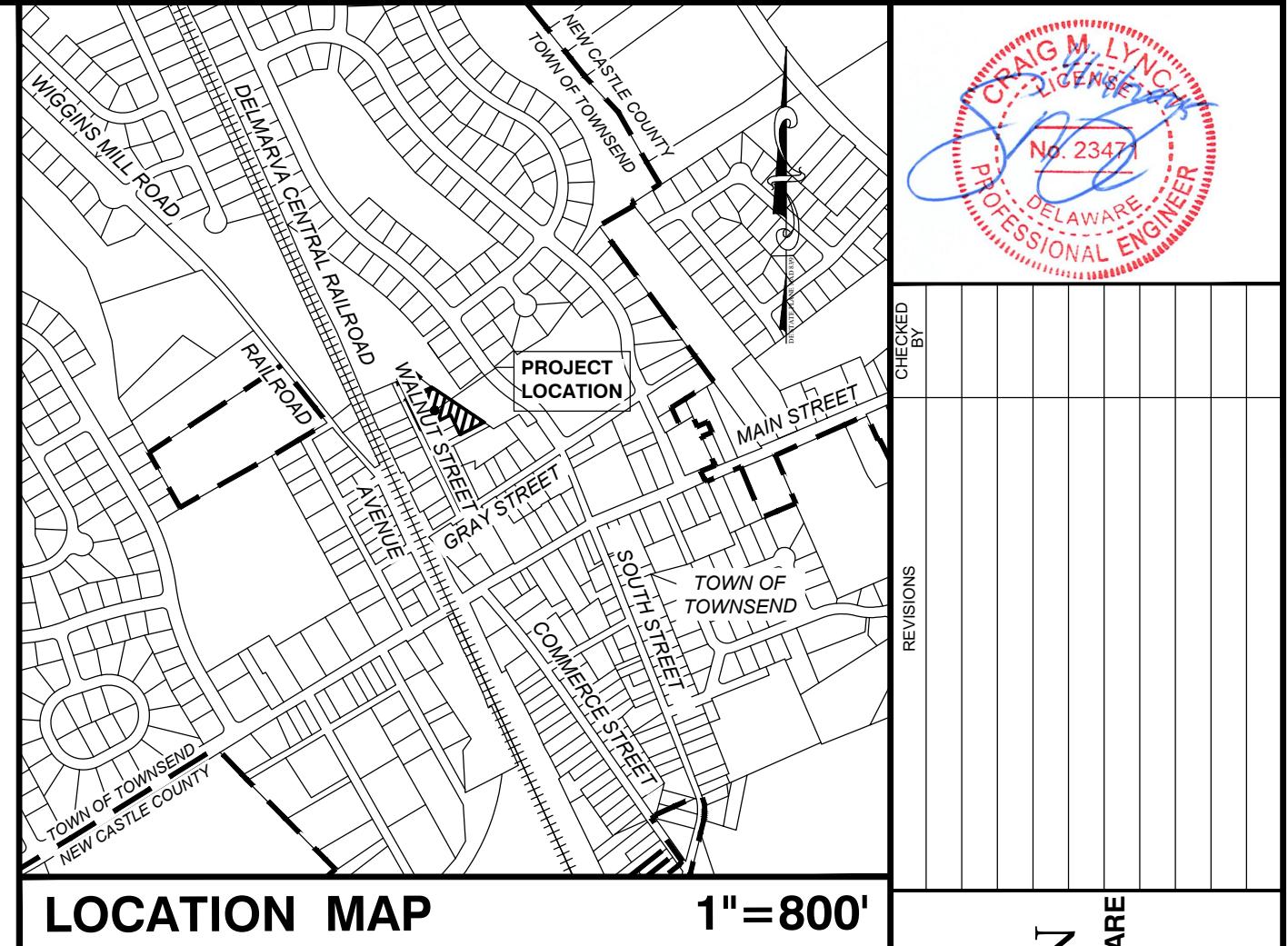
- PARCEL DATA:** TAX MAP NUMBER: 25-001.00-049
NEW CASTLE CONSERVATION DISTRICT PROJECT NUMBER:
SITE ADDRESS: 0 WALNUT ST, TOWNSEND, DE 19734
LATITUDE/LONGITUDE: N39° 23' 49.9085" / W75° 41' 43.0299"
(BENCHMARK REFERENCED BELOW)
EXISTING SITE AREA: 1.02± ACRES
PROPOSED SITE AREA: 0.965± ACRES
EXISTING WETLAND AREA: SEE NOTE 4
PROPOSED CONDITION: EXTEND WALNUT STREET TO DEVELOP TWO SINGLE FAMILY DWELLINGS
PROPOSED DISCHARGE LOCATIONS:
POA#1 LOD IS 0.32± ACRES (DISCHARGES TO ADJACENT INTERMITTENT STREAM)
- TOPOGRAPHIC SURVEY:**
FIELD SURVEYS BY LANDMARK SCIENCE & ENGINEERING, INC. JANUARY-JUNE 2024.
- DATUM:**
VERTICAL: NAVD 1988
HORIZONTAL: DE STATE PLANE NAD 83
- BENCHMARK:**
SANITARY MANHOLE IN WALNUT STREET ROW
EL. 50.00
- OWNER/DEVELOPER DATA:**
OWNER NAME
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.
613 N. WASHINGTON ST.
WILMINGTON, DE 19801
- SITE DESIGNER DATA:** CRAIG M. LYNCH, P.E.
LANDMARK SCIENCE & ENGINEERING
200 CONTINENTAL DRIVE, SUITE 400
NEWARK, DELAWARE 19713
302-323-9377 EXT. 127
CRAIGL@LANDMARK-SE.COM
- WETLANDS:** THIS SITE WAS EVALUATED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1), AND SUBSEQUENT PUBLIC NOTICES, TO IDENTIFY THE PRESENCE OF JURISDICTIONAL WETLANDS. WETLANDS WERE FOUND BY OTHERS TO EXIST ON THE SITE, TOTALING IN AREA 3.217± S.F. (0.074± AC.) OF LAND, ARE SHOWN ON THIS PLAN
- NO 100-YEAR FLOOD PLAIN EXISTS ON THIS PARCEL, IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP 10003C0315L, PANEL 315 OF 475, DATED JANUARY 22, 2020.**

SEDIMENT & STORMWATER MANAGEMENT PLANS COVER SHEET AND GENERAL NOTES

FOR

WALNUT STREET EXTENSION

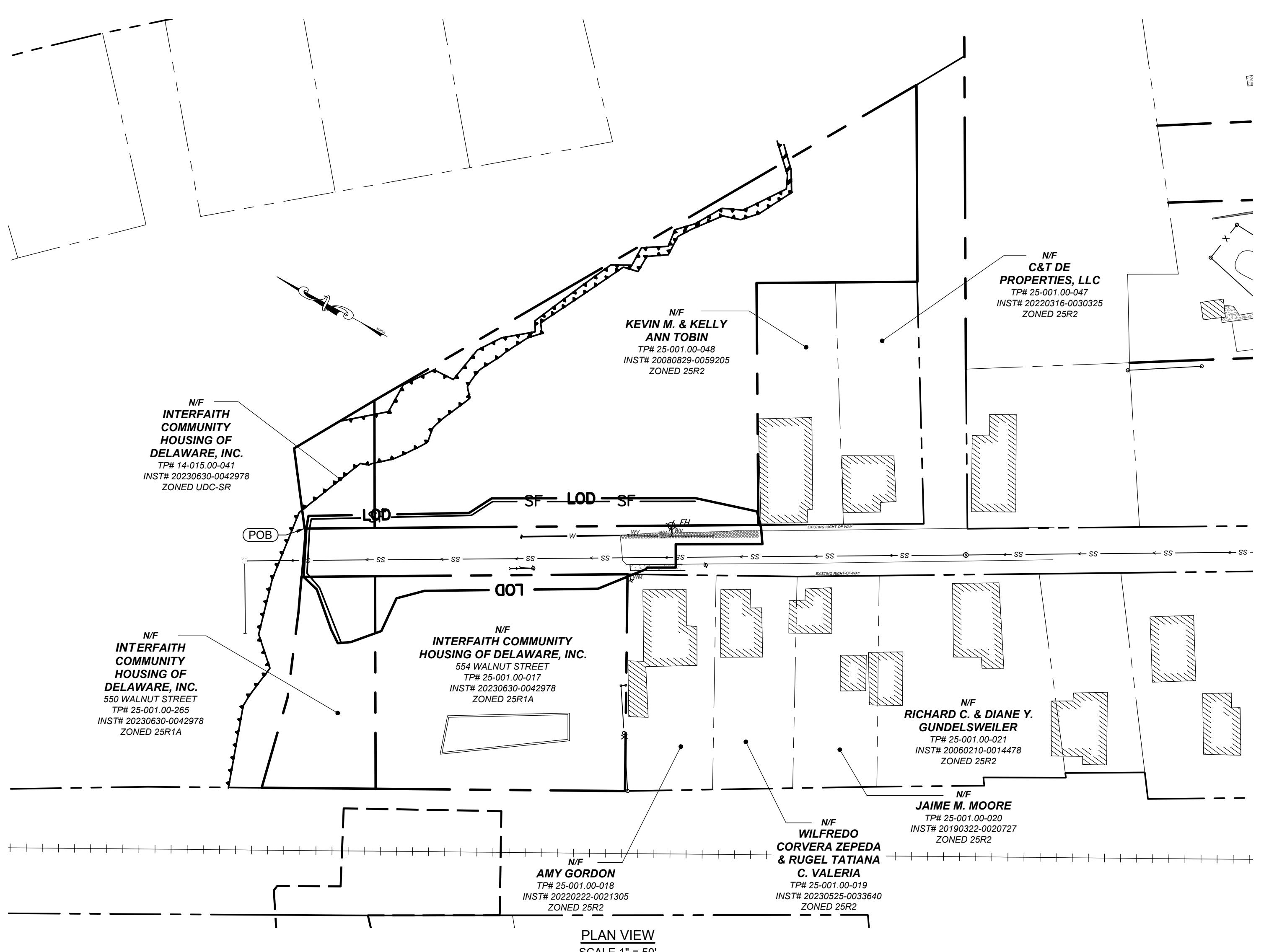
APPOQUINIMINK HUNDRED - NEW CASTLE COUNTY
DELAWARE
APPOQUINIMINK RIVER WATERSHED
TAX PARCEL 25-001.00-049



LOCATION MAP 1"=800'

SEDIMENT AND STORMWATER CONSTRUCTION NOTES:

- THE DNREC SEDIMENT AND STORMWATER PROGRAM SHALL BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE STAMPED DATE OF APPROVAL.
- POST-CONSTRUCTION VERIFICATION DOCUMENTS SHALL BE SUBMITTED TO THE DEPARTMENT OR DELEGATED AGENCY WITHIN 60 DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ON SITE.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL.C. CH. 60 AND THE CURRENT DELAWARE CONSTRUCTION GENERAL PERMIT (CGP).
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCE.
- WHEN DIRECTED BY THE DEPARTMENT OR THE RELEVANT DELEGATED AGENCY, THE OWNER SHALL ACQUIRE THE SERVICES OF A THIRD PARTY CERTIFIED CONSTRUCTION REVIEWER (CCR) TO PERFORM WEEKLY CONSTRUCTION REVIEWS, SEDIMENT AND STORMWATER MANAGEMENT PLANS APPROVED BY THE DEPARTMENT SHALL HAVE A THIRD PARTY CCR.



PLAN VIEW

SCALE 1" = 50'

LICENSED PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES TO THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.
4/14/2025
CRAIG M. LYNCH, P.E.
NO. 23471

4/14/2025
DATE

CERTIFICATION OF OWNER

I, CARLTON E. BOWERS Jr., OF INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC., CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION, AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT ALL RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATE OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL, PROTECTION AND MITIGATION OF CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVER SHEET.

Carlton Bowers
CARLTON E. BOWERS Jr.
613 N. WASHINGTON ST.
WILMINGTON, DE 19801
P: (302) 388-7144

4/24/25

COVER SHEET AND GENERAL NOTES
PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS

CE-01
CE-02
CE-03
CE-04

SEDIMENT & STORMWATER APPROVAL STAMP
NEW CASTLE CONSERVATION DISTRICT
Sediment and Stormwater Management
Plan Approval
Project ID: 2025-09
By: D. Dwight Walters, P.E.
Approval Date: 08/20/25
Expiration Date: 08/20/30

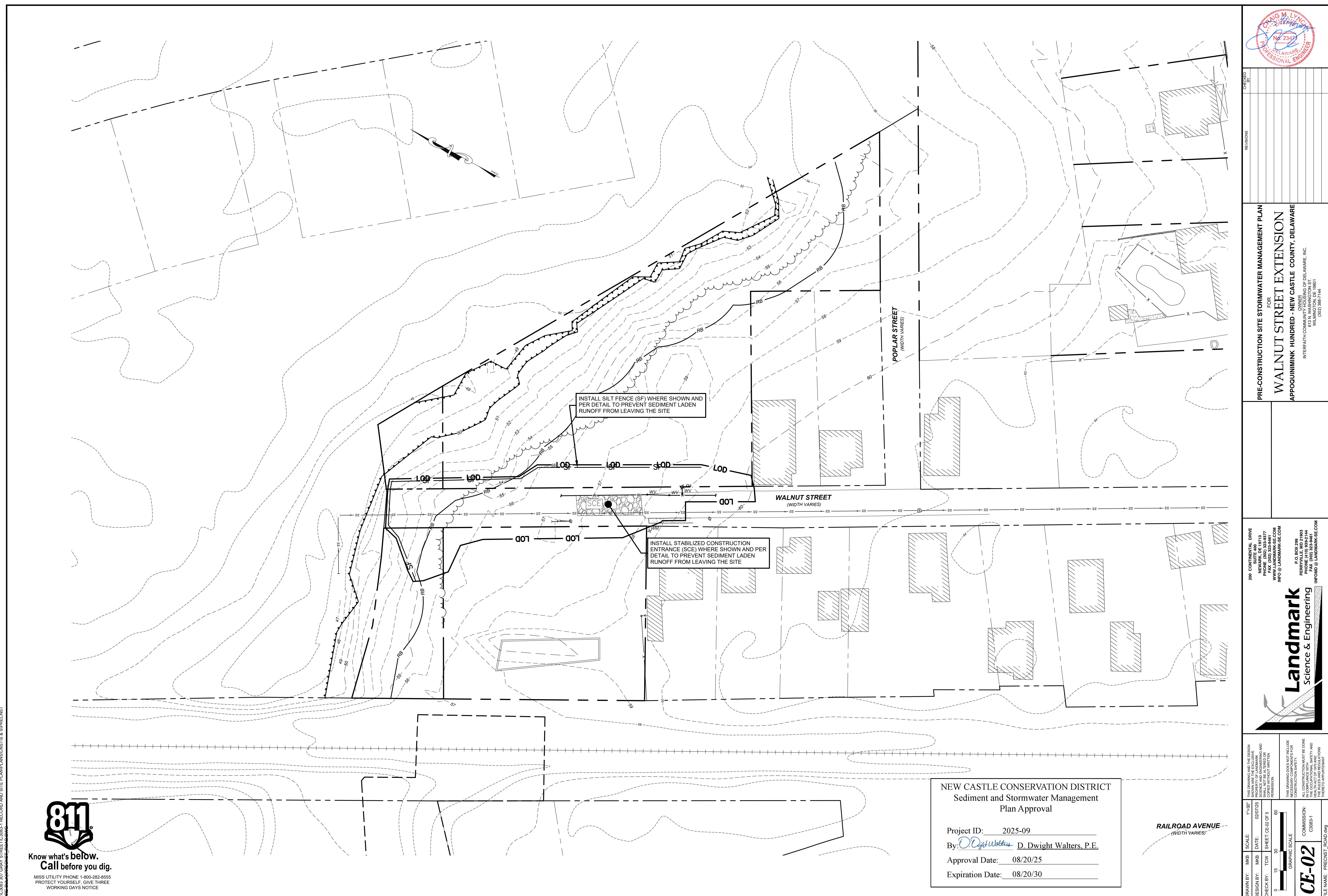
Landmark
Science & Engineering

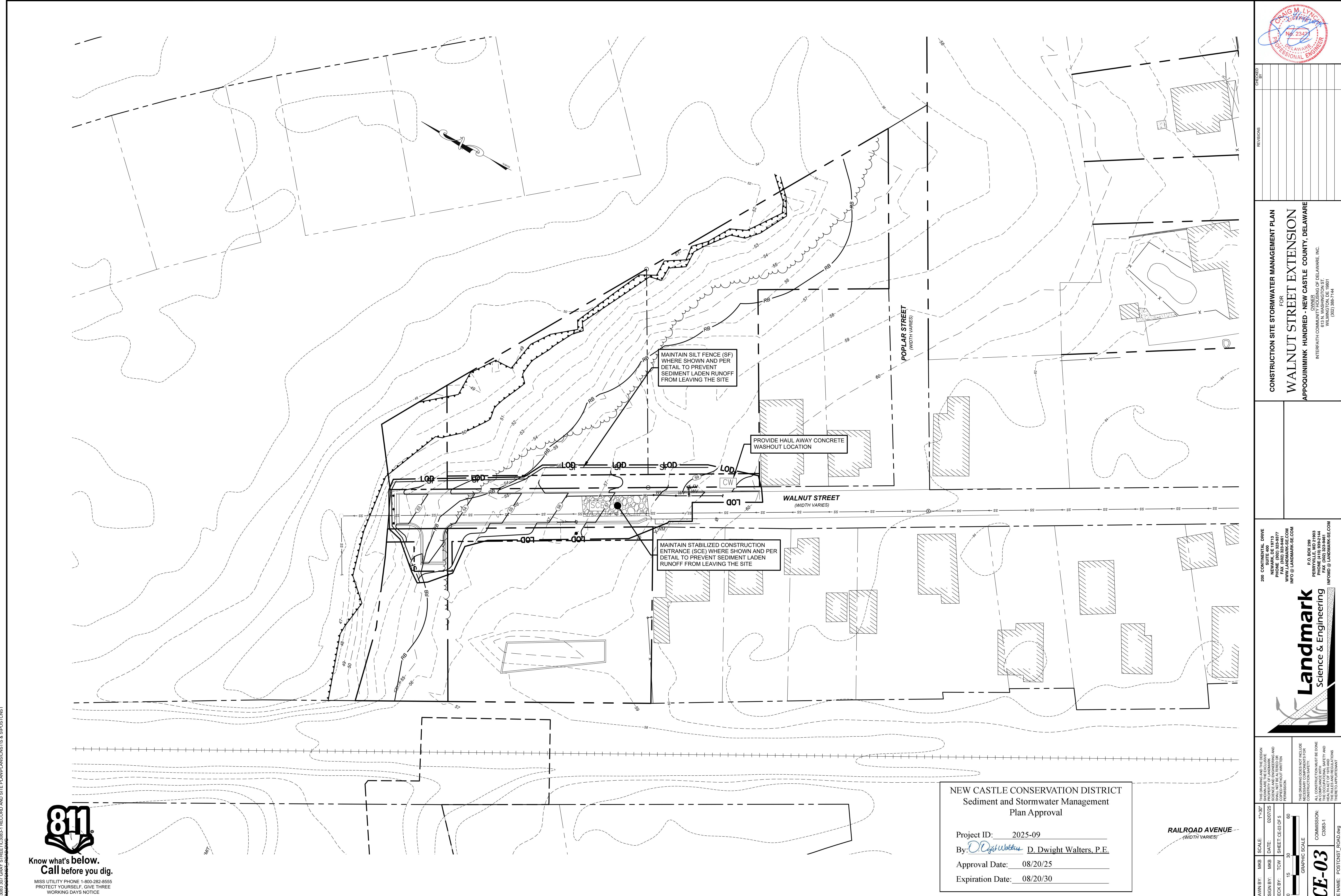
INDEX OF SHEETS

FILE NAME:	COVER ROAD	COMMISSION:
CE-01	1"=800'	02/07/25
CE-02	1"=800'	02/07/25
CE-03	1"=800'	02/07/25
CE-04	1"=800'	02/07/25
FILE NAME: CE-01	GRAPHIC SCALE	02/07/25
FILE NAME: CE-02	GRAPHIC SCALE	02/07/25
FILE NAME: CE-03	GRAPHIC SCALE	02/07/25
FILE NAME: CE-04	GRAPHIC SCALE	02/07/25



MISS UTILITY PHONE 1-800-282-8555
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE







Know what's below.
Call before you dig.
MISS UTILITY PHONE 1-800-282-8555
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE

N/F
INTERFAITH COMMUNITY
HOUSING OF DELAWARE, INC.
554 WALNUT STREET
TP# 25-001-00-265 (QUITCLAIM)
INST# 20230630-0042978
ZONED 25R1A

N/F
GRAY STREET PROPERTIES LLC,
TOWNSEND PROPERTIES TWO LLC
"TOWNSEND VILLAGE II"
TP# 25-001-00-243
INST# 20031231-0169027
ZONED 25R1A

N/F
INTERFAITH COMMUNITY
HOUSING OF DELAWARE, INC.
554 WALNUT STREET
TP# 25-001-00-265 (QUITCLAIM)
INST# 20230630-0042978
ZONED 25R1A

N/F
AMY GORDON
TP# 25-001-00-018
INST# 20220222-0021305
ZONED 25R2

PLAN
SCALE: 1" = 20'

CUT	FILL	NET
627 CY	210 CY	417 CY/cut

BULK GRADING CUT/FILL
*ACTUAL VALUES TO VARY BASED ON FOUNDATION
SPECIFICATIONS AND CONTRACTOR MEANS AND METHODS

TOTAL LIMIT OF DISTURBANCE = 25,181 SF (0.59 AC)

Landmark
Science & Engineering

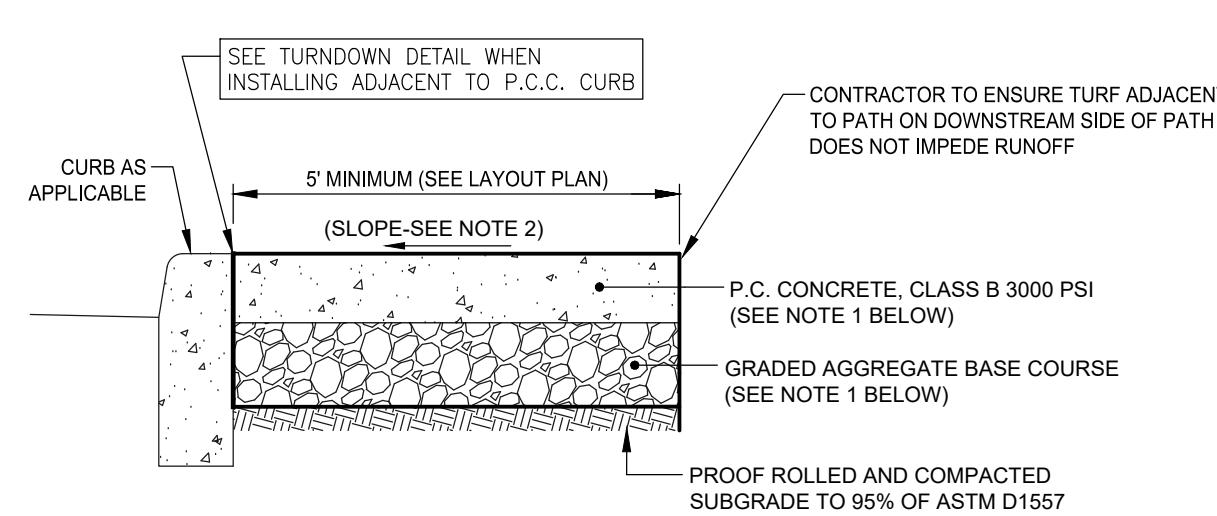
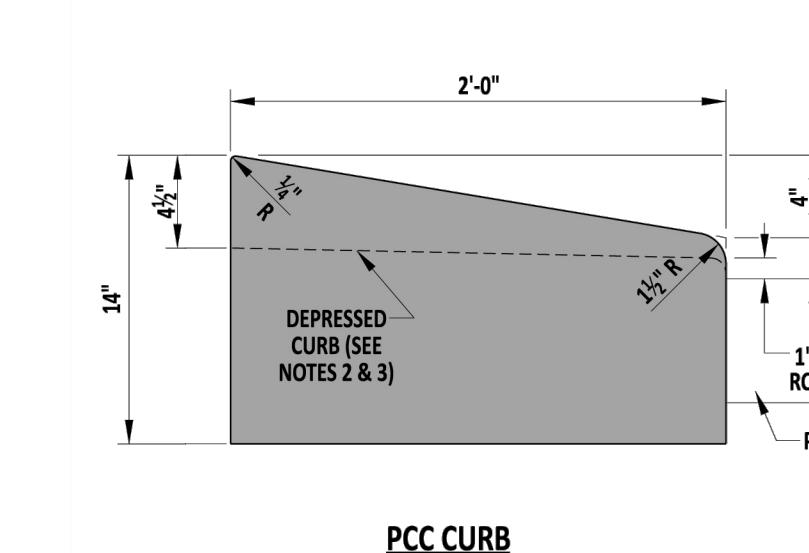
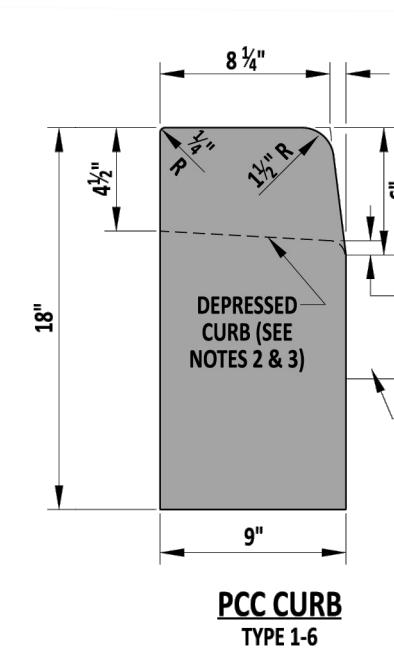
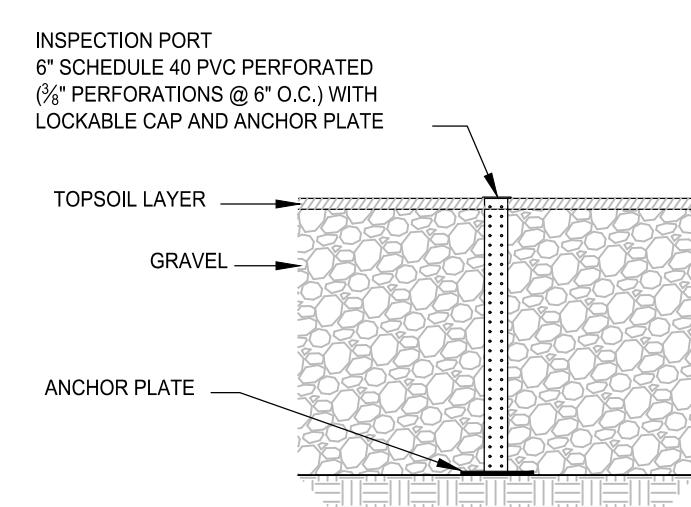
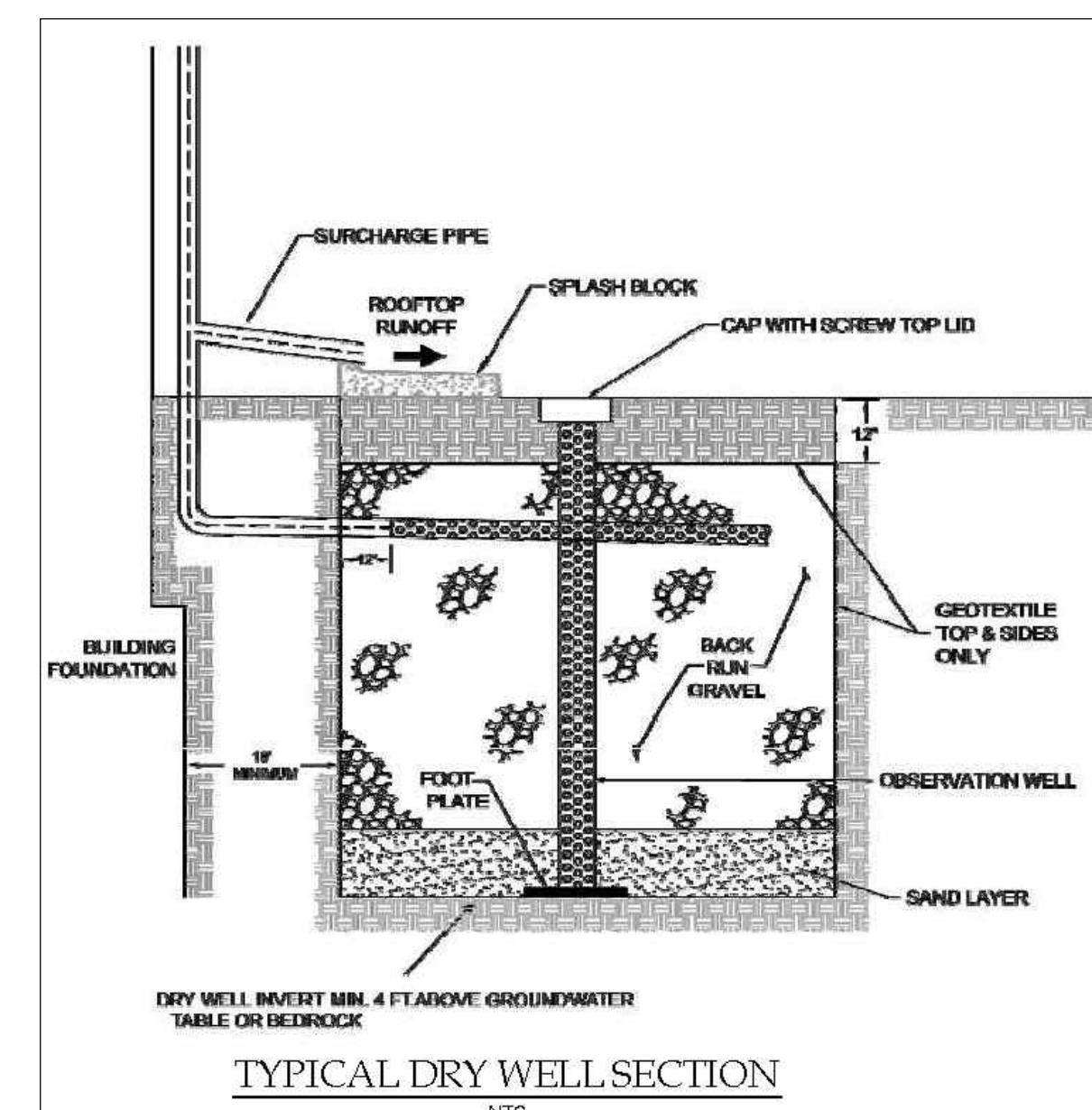
200 CONTINENTAL DRIVE
SUITE 400
NEWARK, DE 19713
PHONE: (302) 334-3977
WWW.LANDMARK-SE.COM
INFO@LANDMARK-SE.COM

P.O. BOX 2893
PERIODIC MAILING LIST
PHONE: (410) 338-2144
FAX: (302) 338-9161
INFO@LANDMARK-SE.COM

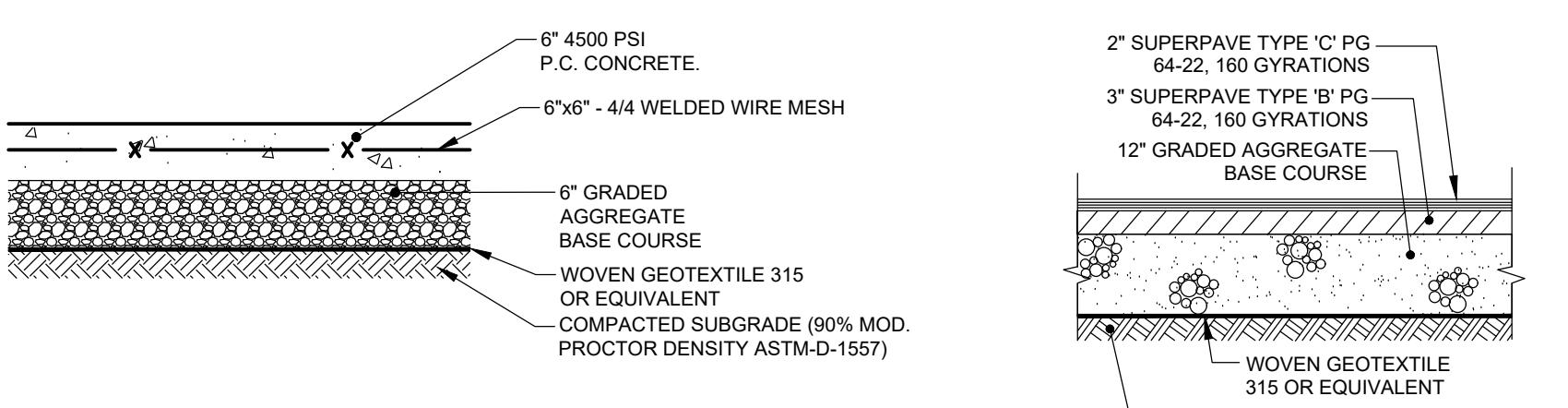
APPLICATION NO. 2024-____(S)
GRADING PLAN
FOR
INTERFAITH COMMUNITY HOUSING
WALNUT STREET EAST
TOWN OF TOWSEND - NEW CASTLE COUNTY, DELAWARE
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.
WILLINGTON, DE 19811
(302) 388-7144

1. CONFORMANCE SET
CHG BY
1/19/26
CM
1. CONFORMANCE SET
REVISIONS
1/19/26
CM

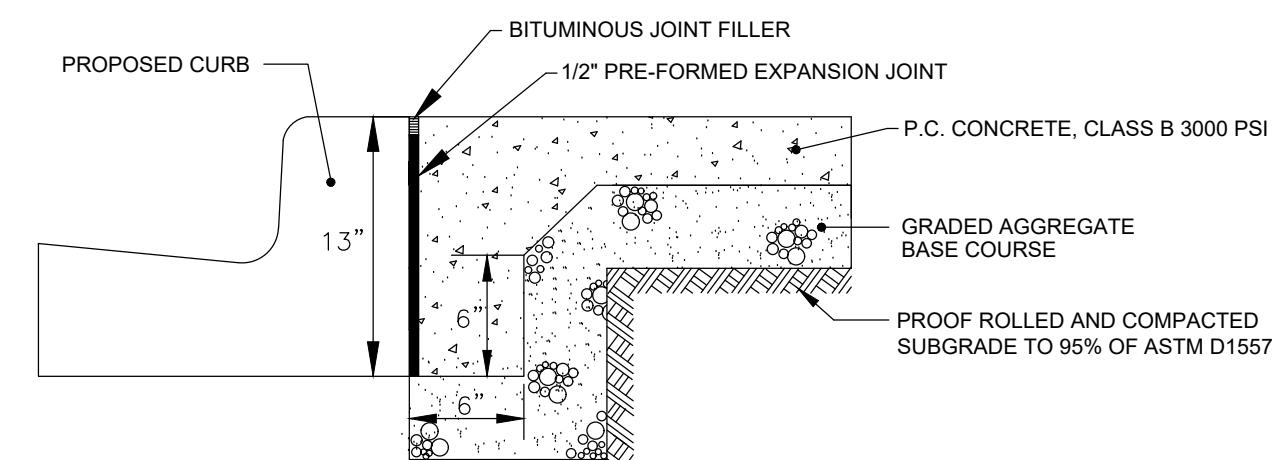
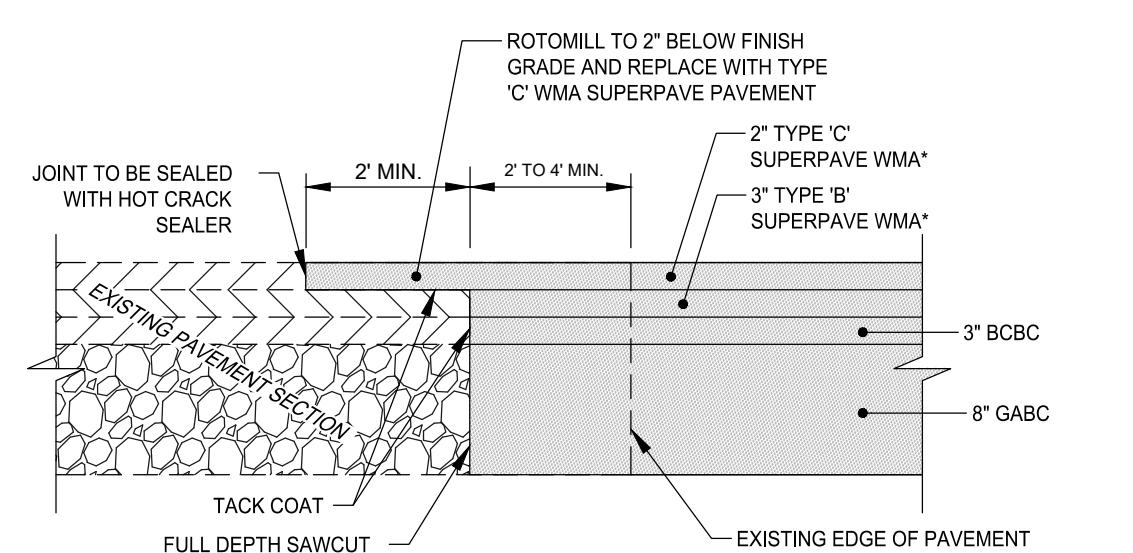
CRAIG M. LYACK
LICENSE NO. 23471
PROFESSIONAL
LANDSCAPE
OWNER



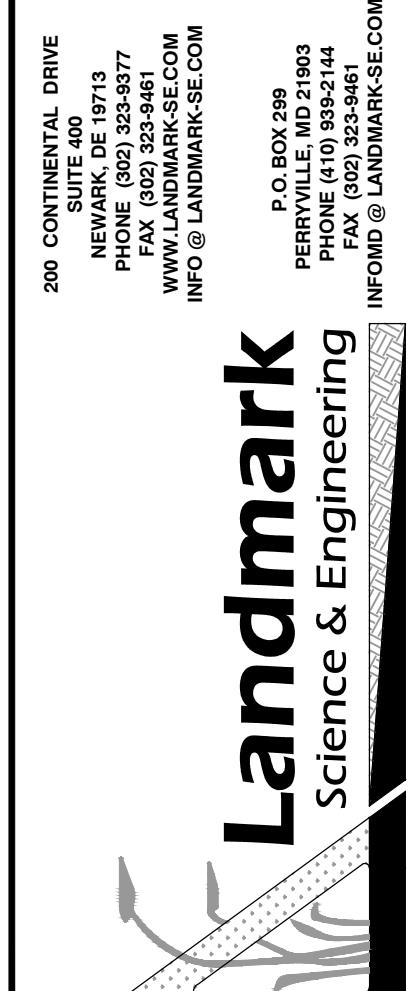
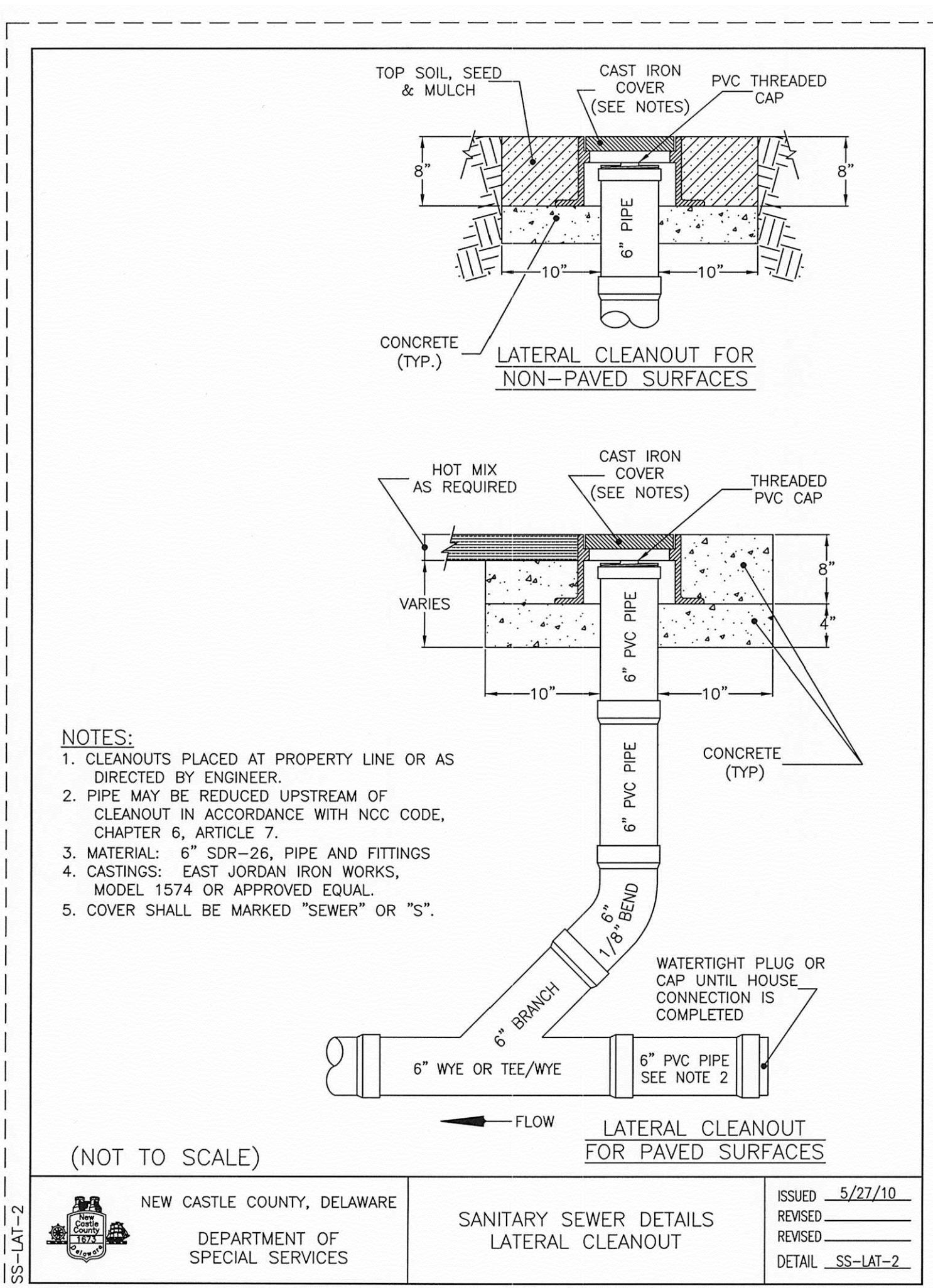
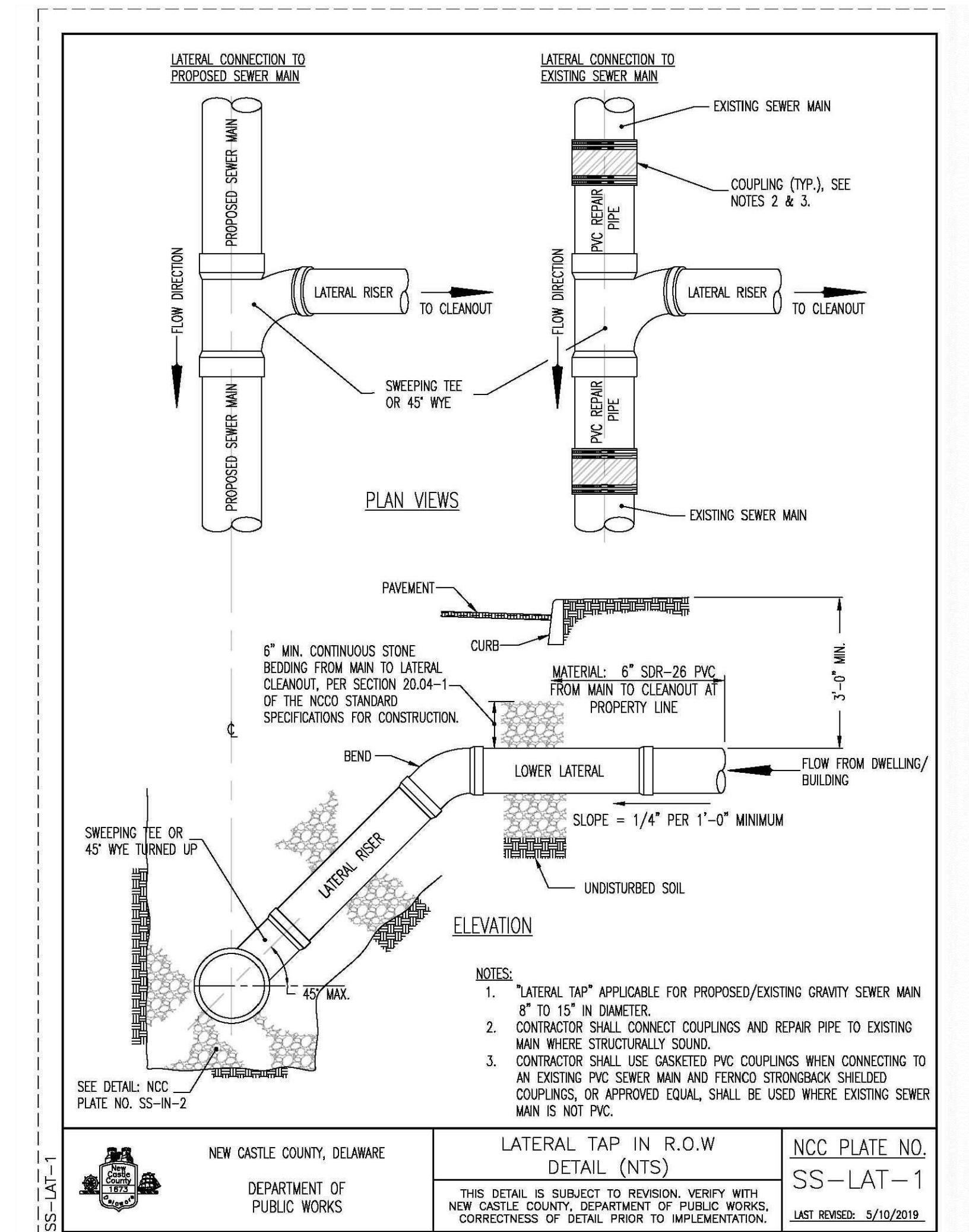
WALNUT STREET - TYPICAL CURB SECTIONS
NO SCALE



HEAVY DUTY PAVEMENT SECTION
N.T.S.



**APPLICATION NO. 2024-(S)
CONSTRUCTION NOTES AND DETAILS**
FOR
INTERFAITH COMMUNITY HOUSING
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE
WALNUT STREET EAST
OWNER/DEVELOPER: INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.
WILMINGTON, DE 19801
(302) 388-7144



CC-05
COMMISSION: C0383 CNST-SET - WEST DWG
DRAWN BY: CML
SCALE: CML
DESIGN BY: CML
DATE: 5/23/24
CHECK BY: CML
SHEET: 5 OF 6
FILE NAME: C0383 CNST-SET - WEST DWG
C0383-1
THIS DRAWING DOES NOT INCLUDE
ALL CONSTRUCTION AS IS DONE
SHOWN ARE THE EXCLUSIVE
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NEWARK, DE 19713
PHONE: (302) 388-3977
FAX: (302) 388-9161
WWW.LANDMARK-SE.COM
INFO@LANDMARK-SE.COM

APPLICATION NO. 2024-____(S)
CY-01
FOR
SANITARY CONNECTION PLAN

**TOWN OF TOWNSEND HUNDRED - NEW CASTLE COUNTY
DELAWARE**

1. A CONSTRUCTION PERMIT ISSUED BY THE STATE OF DELAWARE, DEPARTMENT OF TRANSPORTATION (DELDOT) IS REQUIRED BEFORE ANY WORK IS PERFORMED WITHIN A DELDOT RIGHT-OF-WAY. ALL WORK PERFORMED WITHIN DELDOT RIGHT-OF-WAY OR PROPERTY OWNED BY THE STATE OF DELAWARE SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT DELDOT STANDARD SPECIFICATIONS AND UTILITY MANUAL.
2. AS STATED IN THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION (DELDOT) UTILITIES MANUAL REGULATIONS; WHERE SANITARY SEWER INSTALLATION IS PROPOSED WITHIN THE EXTENTS OF RIGHT-OF-WAY(S) DESIGNATED FOR DEDICATION TO THE STATE OF DELAWARE THE OWNER OR DEVELOPER IS RESPONSIBLE TO OBTAIN THE APPROPRIATE DELDOT UTILITY INSTALLATION PERMIT PRIOR TO INSTALLING THE SANITARY SEWER.
3. AS STATED IN THE STATE OF DELAWARE, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENT CONTROL REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, THE OWNER / DEVELOPER IS RESPONSIBLE TO OBTAIN A WASTEWATER FACILITIES CONSTRUCTION PERMIT FROM THE DNREC DIVISION OF WATER FOR PROJECTS ANTICIPATED TO GENERATE SEWAGE FLOWS MORE THAN 2,000 GALLONS PER DAY. THE DEPARTMENT WILL PROVIDE AN APPROVAL LETTER TO THE PERMITTEE FOR APPLICATION PURPOSES. COMPLIANCE WITH THE APPROVED SEWER CONSTRUCTION OR SEWER CONNECTION PLAN
4. SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT NEW CASTLE COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION, SPECIAL PROVISIONS, SUPPLEMENTAL SPECIFICATIONS, STANDARD DETAILS, AND THE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES OR STRICTER STANDARDS IDENTIFIED BY THE ENGINEER.
5. CONSTRUCTION SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS APPROVED BY NEW CASTLE COUNTY WITHOUT WRITTEN PERMISSION FROM NEW CASTLE COUNTY'S DEPARTMENT OF PUBLIC WORKS.
6. DURING CONSTRUCTION, THE CONTRACTOR MUST HAVE IN THEIR POSSESSION ON SITE, A SET OF CONSTRUCTION PLANS BEARING NEW CASTLE COUNTY'S STAMP OF APPROVAL.
7. UPON CONNECTING TO AN EXISTING SANITARY SEWER LATERAL STUB, GRAVITY OR PRESSURIZED, THE INSTALLER SHALL BE RESPONSIBLE TO CLEAN, REPAIR AS NECESSARY AND VERIFY THAT SEWER FLOWS FROM THE NEW CONNECTION ARE ABLE TO PASS UNIMPEDED INTO THE NEW CASTLE COUNTY SYSTEM.
8. A PRECONSTRUCTION MEETING MUST BE CONDUCTED BEFORE INSTALLATION OF SANITARY SEWER COLLECTOR PIPES OR A CONNECTION TO A SEWER COLLECTOR PIPE IS MADE. THE OWNER / DEVELOPER IS RESPONSIBLE FOR SCHEDULING THE MEETING. AT A MINIMUM THE SEWER INSTALLER, THE OWNER/DEVELOPER'S REPRESENTATIVE AND A REPRESENTATIVE OF THE GENERAL CONTRACTOR OR BUILDING SHALL ATTEND THE MEETING. CONTACT THE NEW CASTLE COUNTY DEPARTMENT OF PUBLIC WORKS AT 302-395-5740 TO INITIATE SCHEDULING.
9. THE OWNER / DEVELOPER IS RESPONSIBLE FOR CONTACTING THE NEW CASTLE COUNTY DEPARTMENT OF PUBLIC WORKS DESIGNATED INSPECTOR AND ARRANGING FOR INSPECTION OF ITEMS IDENTIFIED AT THE PRECONSTRUCTION MEETING. FOR ITEMS THAT ARE BURIED AND INACCESSIBLE FOR VERIFICATION BY A SURVEYOR FOR "AS-BUILT" VERIFICATION. PHOTO DOCUMENTATION SHALL BE PROVIDED TO THE INSPECTOR. AT A MINIMUM THE FOLLOWING MANDATORY INSPECTIONS ARE REQUIRED:
 - A. FOR PIPES EIGHT (8) INCHES IN DIAMETER OR LARGER, A LOW-PRESSURE AIR TEST SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 32.01 OF THE NEW CASTLE COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - B. AT THE NCC DPW INSPECTOR'S DISCRETION VISUAL INSPECTION OF THE PIPE BY CCTV PACP INSPECTION METHOD ACCORDING TO NEW CASTLE COUNTY REQUIREMENTS MAY BE REQUIRED TO VERIFY THAT THE PIPE INSTALLATION IS FREE OF DEFECTS. THE CCTV DOCUMENTATION SHALL BE PROVIDED TO THE INSPECTOR FOR NCC DPW RECORDS.
 - C. FOR PIPES SIX (6) INCHES IN DIAMETER (SEWER CONNECTION LATERALS), AN INSTALLATION INSPECTION IS REQUIRED FROM THE POINT OF CONNECTION TO A SEWER COLLECTOR PIPE OR AN EXISTING LATERAL TO THE EDGE OF PUBLIC RIGHT-OF-WAY OR EASEMENT.
10. FINAL ACCEPTANCE INSPECTION:
 - A. ALL MANHOLES MUST BE BROUGHT TO GRADE AND HAVE CONCRETE COLLARS INSTALLED.
 - B. CHANNELS MUST BE COMPLETED IN ALL MANHOLES.
 - C. ANY INSIDE DROP PIPE AND APPURTENANCES INSTALLED.
 - D. ALL MANHOLES AND SEWER PIPES MUST BE CLEANED AND FLUSHED.

- E. FOR MANHOLES LOCATED OUTSIDE OF A PUBLIC RIGHT-OF-WAY IN COMMUNITY OPEN SPACE WHERE A TURF TRAIL IS PROPOSED IT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCC DETAIL SS-MISC-2.
- F. FOR MANHOLES LOCATED WITHIN A PROPOSED ROADWAY, STABILIZED ROADWAY ACCESS IS CONSTRUCTED FOR THE PURPOSE OF MAINTAINING THE CONSTRUCTED SANITARY SEWER SYSTEM UNTIL FINAL PAVING IS COMPLETED.
- G. MANHOLE COVERS ON PRIVATELY OWNED AND MAINTAINED SEWER SYSTEMS SHALL NOT BE LABELED "NEW CASTLE COUNTY."

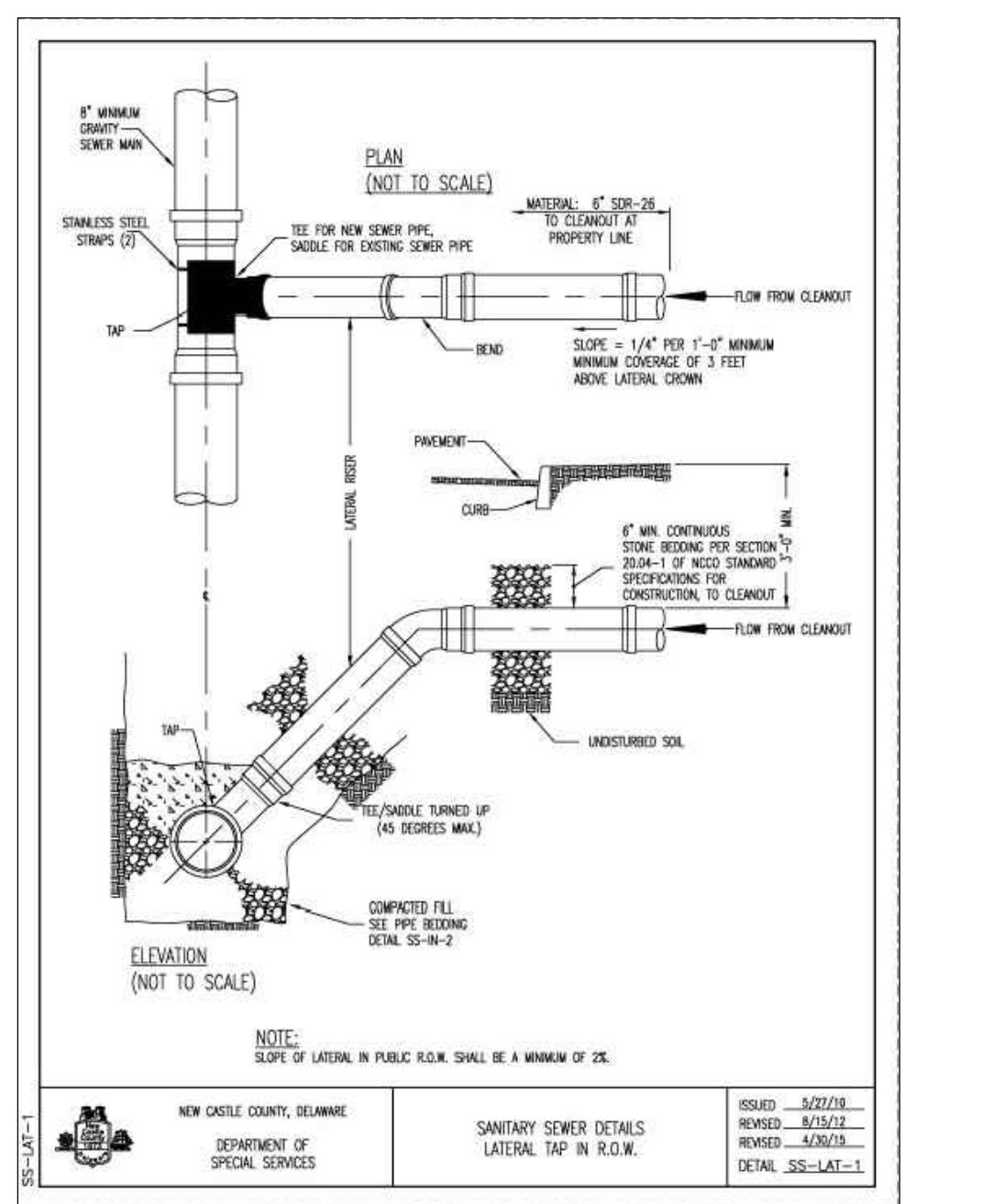
11. THE OWNER / DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL AND ACCEPTANCE OF THE SANITARY SEWER SYSTEM BY NEW CASTLE COUNTY UPON COMPLETION OF CONSTRUCTION. AS-BUILT PLANS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR OR PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE MUST BE SUBMITTED TO NEW CASTLE COUNTY BEFORE ACCEPTANCE. NCC DPW POLICY SS-8 PROVIDES STANDARDS FOR AS-BUILT PLAN PREPARATION AND SUBMISSION.

12. THE OWNER / DEVELOPER SHALL NOT PLACE, PLANT, PUT OR SET ANY STRUCTURE WITHIN THE SANITARY SEWER EASEMENT.

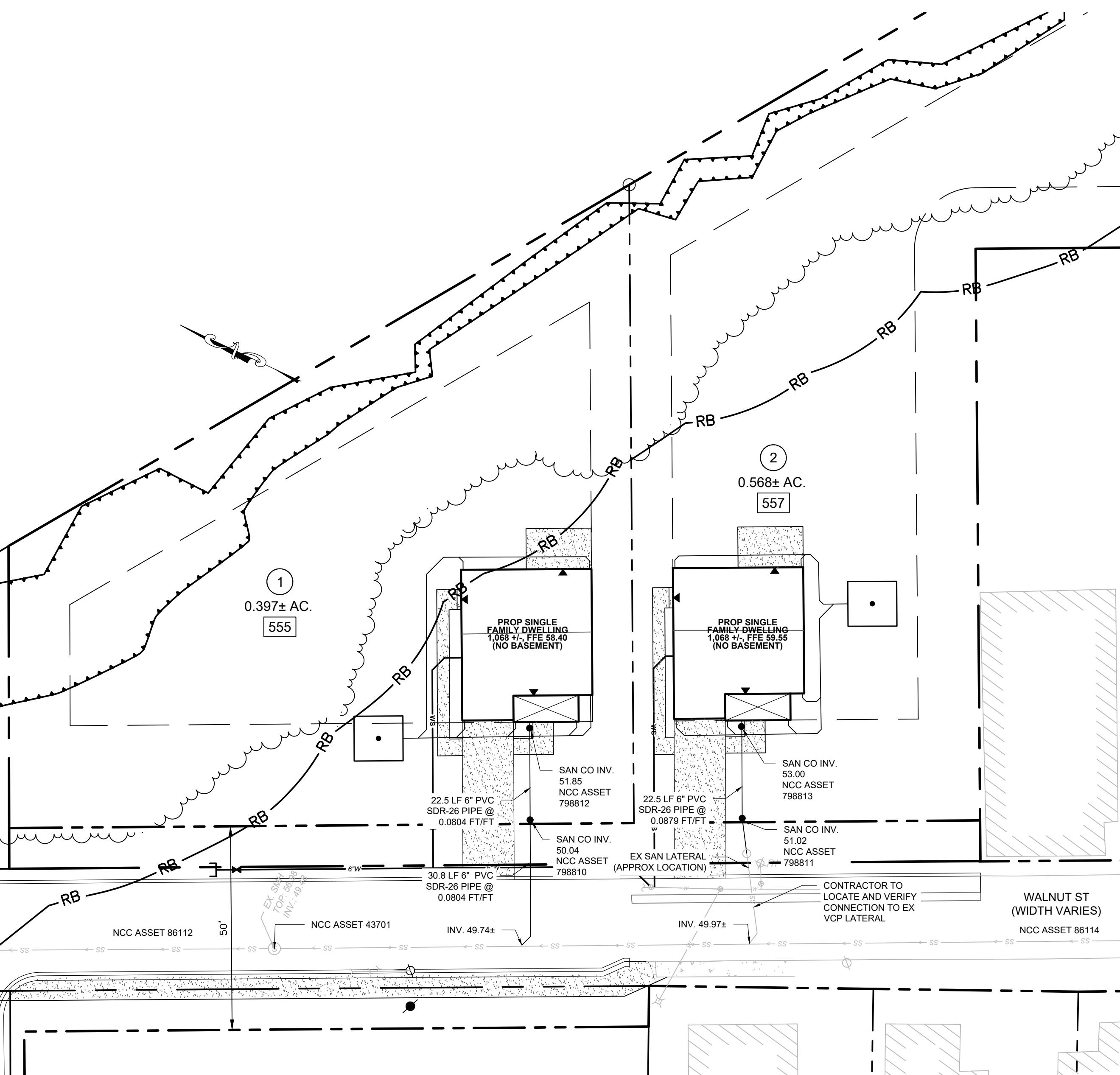
13. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS. DELAWARE EROSION AND SEDIMENT CONTROL

SUPPLEMENTAL NO.

1. EXISTING MAIN ASSUMED TO BE 8" VCP. CONTRACTOR TO VERIFY SIZE AND TYPE OF MAIN PRIOR TO MAKING LATERAL CONNECTION



SEWER LATERAL TABLE									
BUILDING NUMBER	SEWER LATERAL NO.	LATERAL INVERT AT CONNECTION POINT TO SANITARY SEWER MAIN	MINIMUM PLUMBING FIXTURE ELEVATION	ELEVATION OF LOWEST FLOOR SEWERED BY GRAVITY	UPSTREAM MH NUMBER AND RIM ELEVATION		DOWNSTREAM MH NUMBER	DISTANCE OF LATERAL CONNECTION FROM DOWNSTREAM MANHOLE	BACKWATER VALVE REQUIRED
1	1	49.74	54.74	58.40	43703	EL. 63.23	43701	0+61	NO
2	2	49.97	54.97	59.55	43703	EL. 63.23	43701	1+16	NO



LOCATION PLAN

CERTIFICATION OF PLAN ACCURACY

I, CRAIG M. LYNCH, HERBY CERTIFY THAT I AM A PROFESSIONAL ENGINEER / LAND SURVEYOR IN THE STATE OF DELAWARE WITH A BACKGROUND IN CIVIL ENGINEERING AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, I CERTIFY THAT ALL THE INFORMATION ON THE SANITARY SEWER DRAWINGS IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING AND ENGINEERING STANDARDS AND PRACTICES AND BY THE NEW CASTLE COUNTY UNIFIED DEVELOPMENT CODE. ADDITIONALLY, THE SANITARY SEWER DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH AND COMPLIES WITH ALL APPLICABLE REGULATIONS, CODES, STANDARDS, GUIDELINES, LAWS, AND POLICIES, INCLUDING BUT NOT LIMITED TO CHAPTER 38 OF THE NEW CASTLE COUNTY CODE, THE DEPARTMENT OF PUBLIC WORKS POLICIES #6 AND #7, THE NEW CASTLE COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION AND AMENDMENTS AND THE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES.

CERTIFICATION OF OWNER

CERTIFICATION OF OWNERSHIP

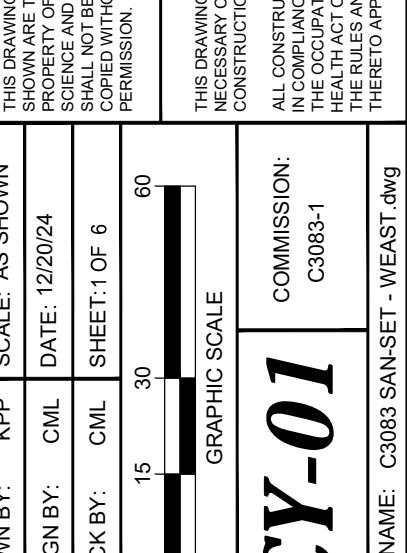
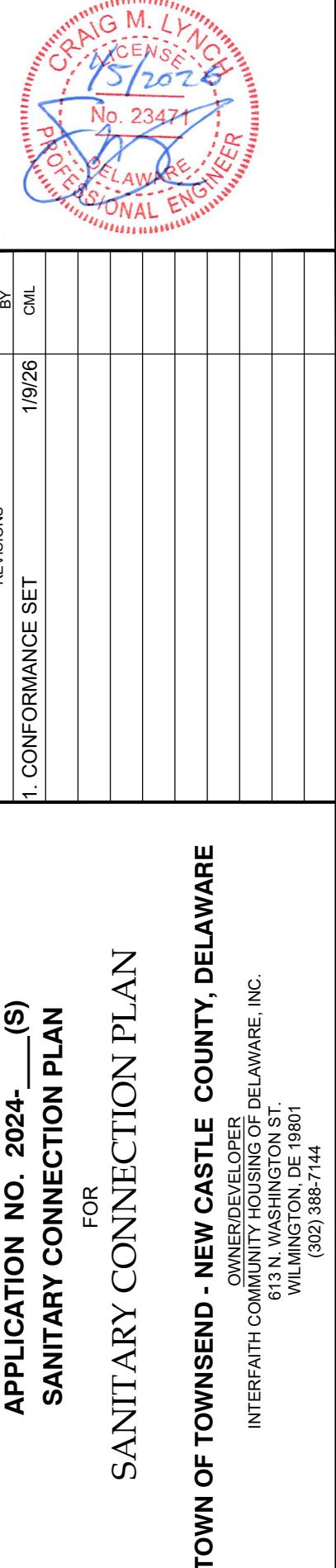
I, CARLTON BOWERS, HERBY CERTIFY THAT INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC. IS THE CURRENT, LEGAL OWNER OF THE PROPERTY TO BE SEWERED AND THAT THE SANITARY SEWER WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, CODES, STANDARDS, GUIDELINES, LAWS AND POLICIES, INCLUDING BUT NOT LIMITED TO CHAPTER 38 OF THE NEW CASTLE COUNTY CODE, THE DEPARTMENT OF SPECIAL SERVICES POLICIES #6 AND #7, THE NEW CASTLE COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION AND AMENDMENTS AND THE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES.

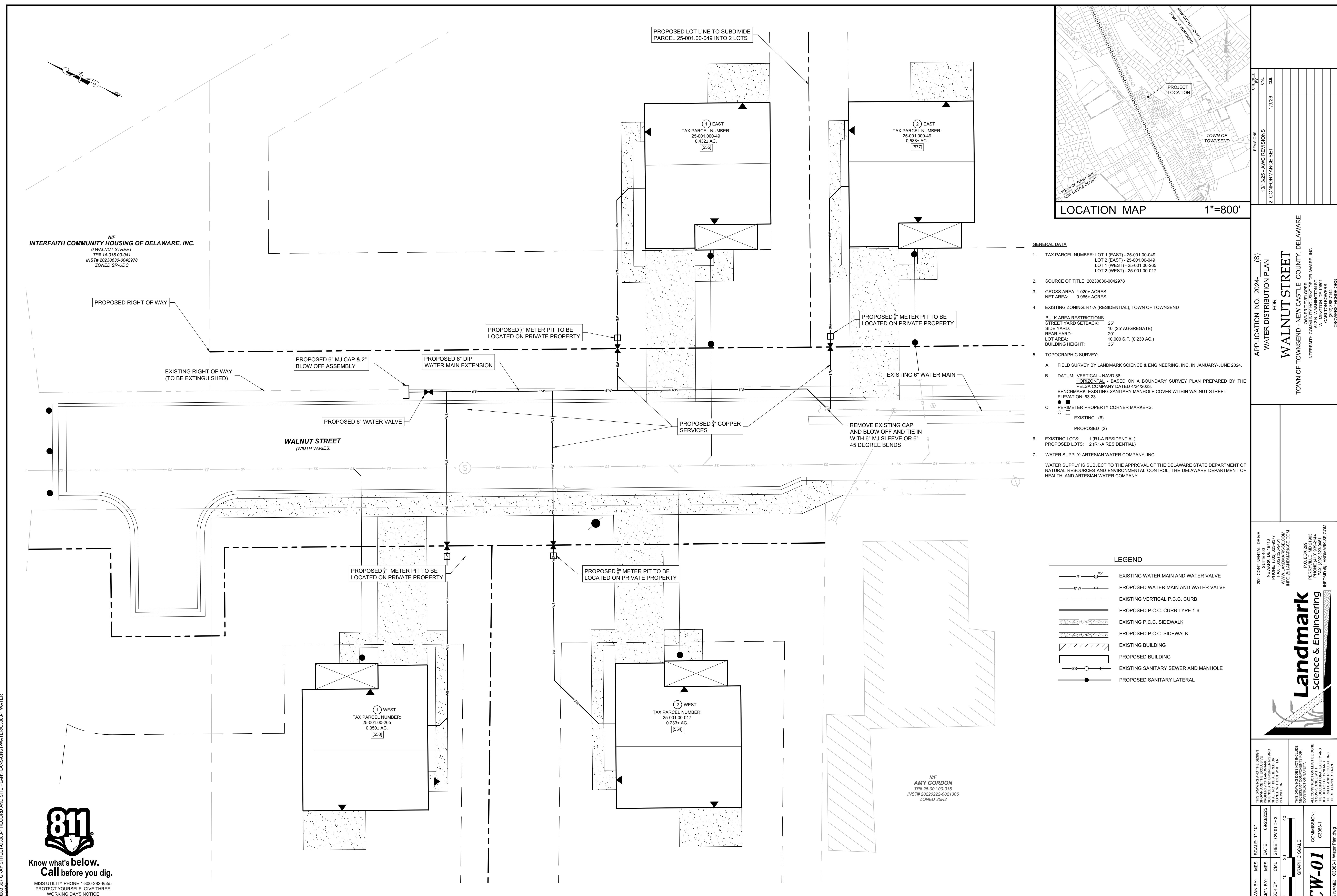
Carlton Bowers 01-05-2026
CARLTON E. BOWERS JR. DATE



**Know what's below.
Call before you dig.**

ISS UTILITY PHONE 1-800-282-8555
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE





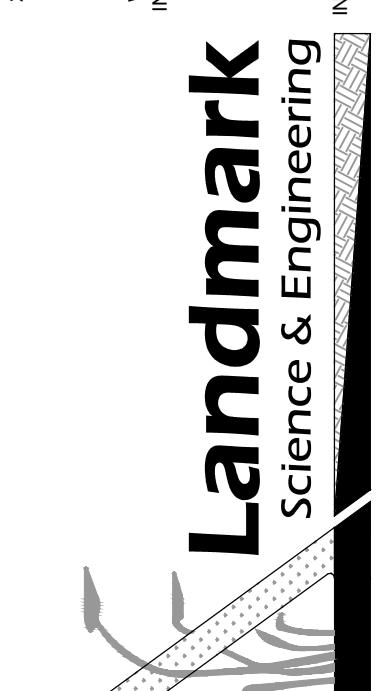
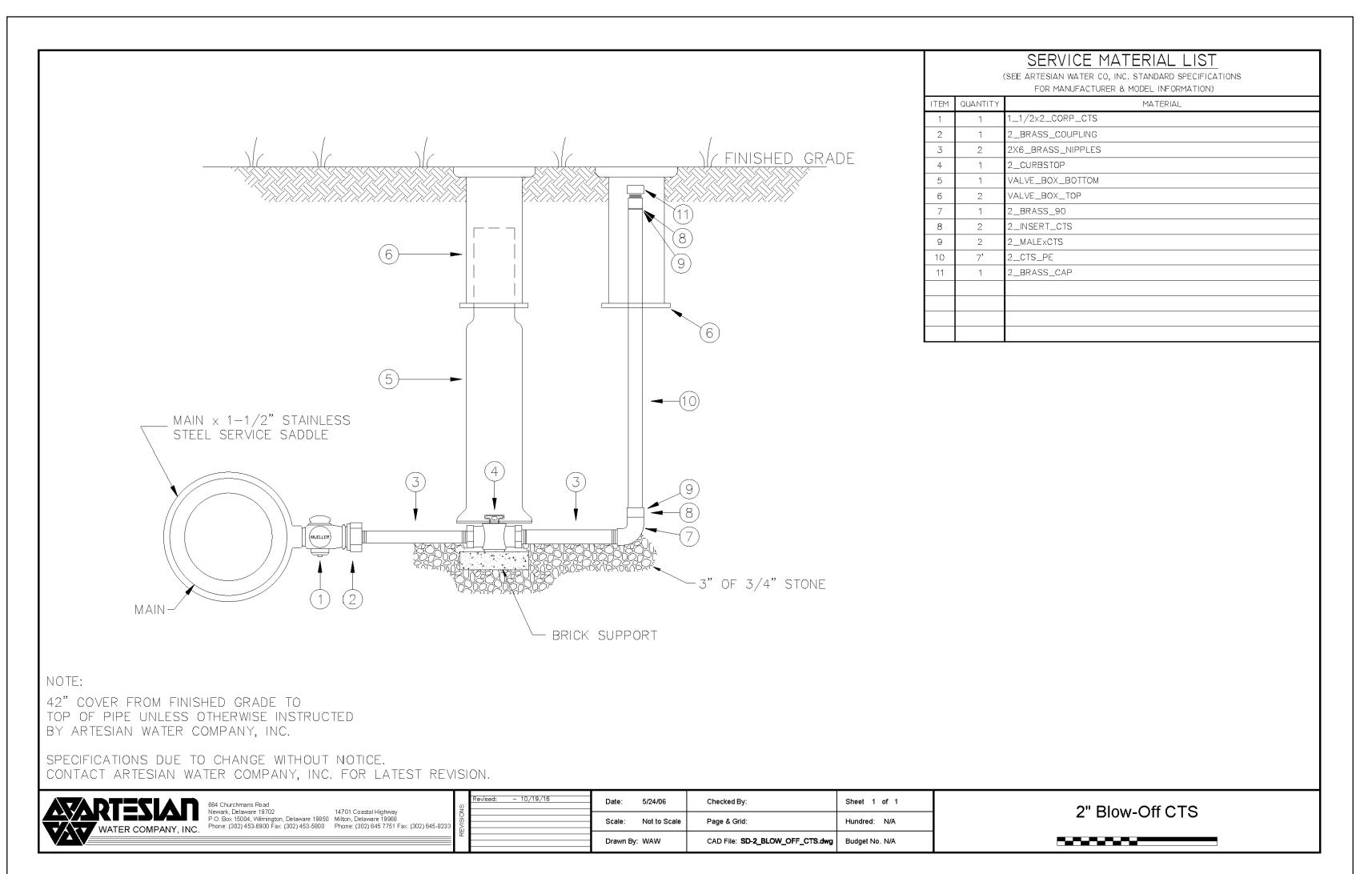
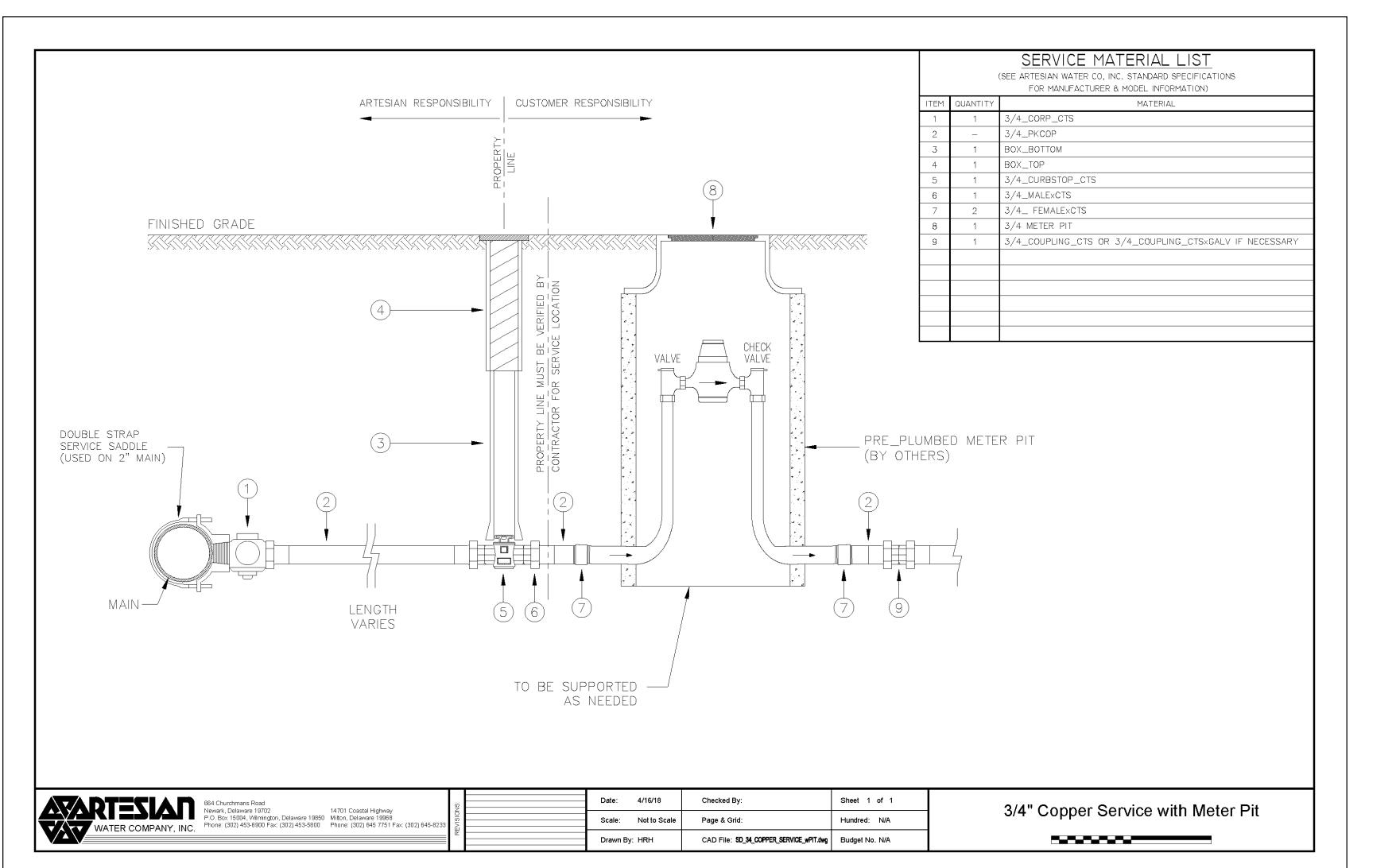
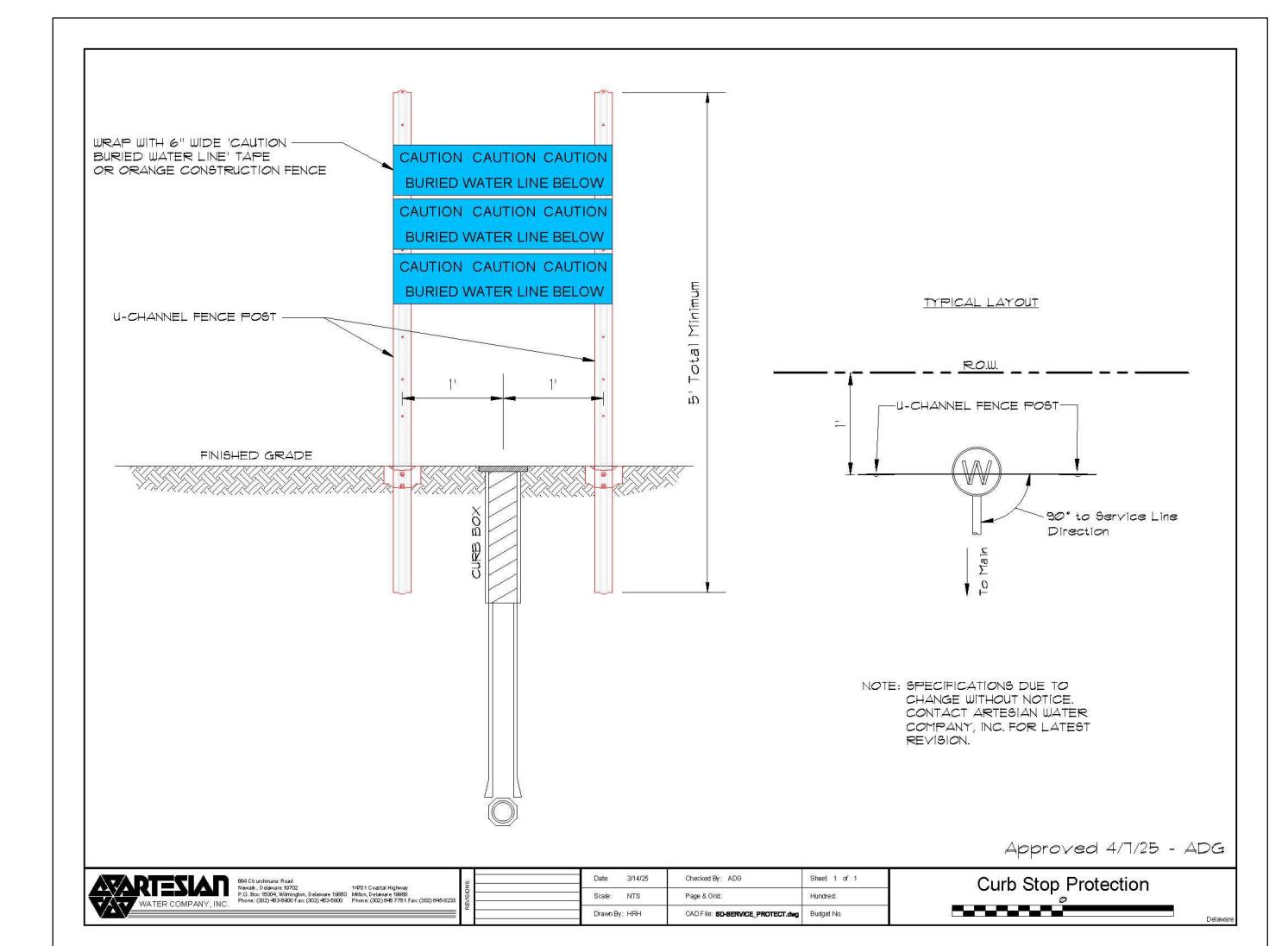
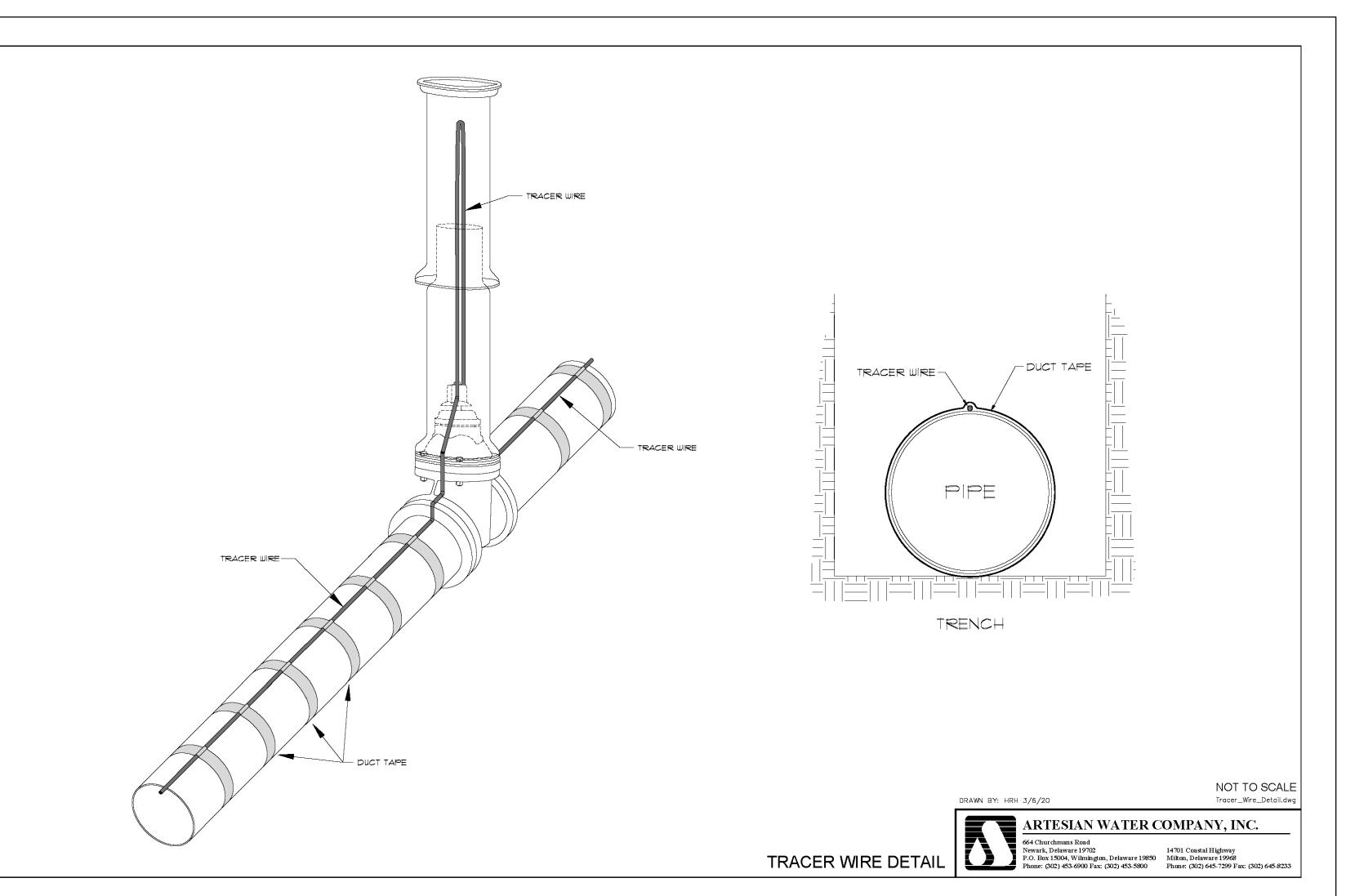
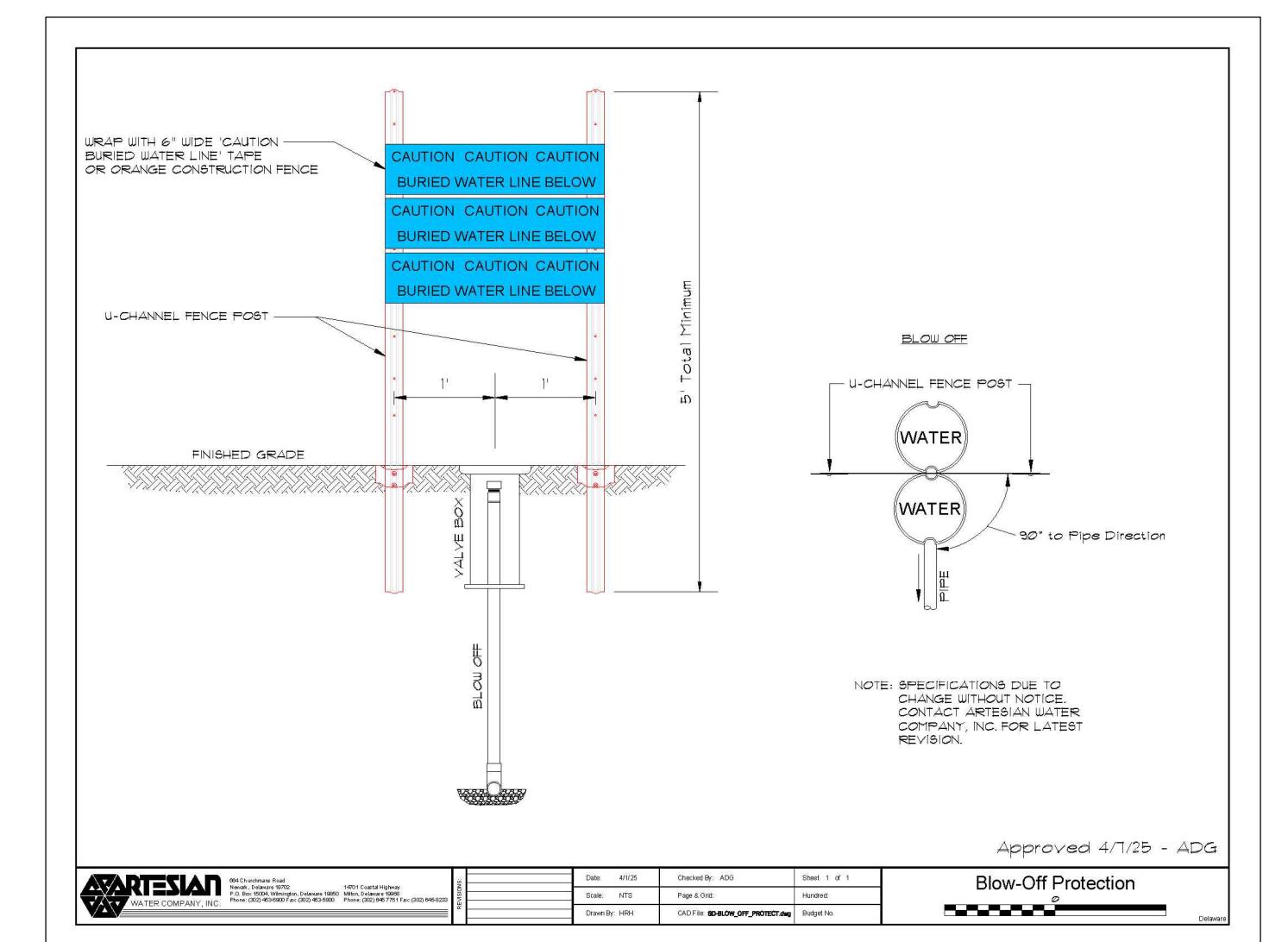
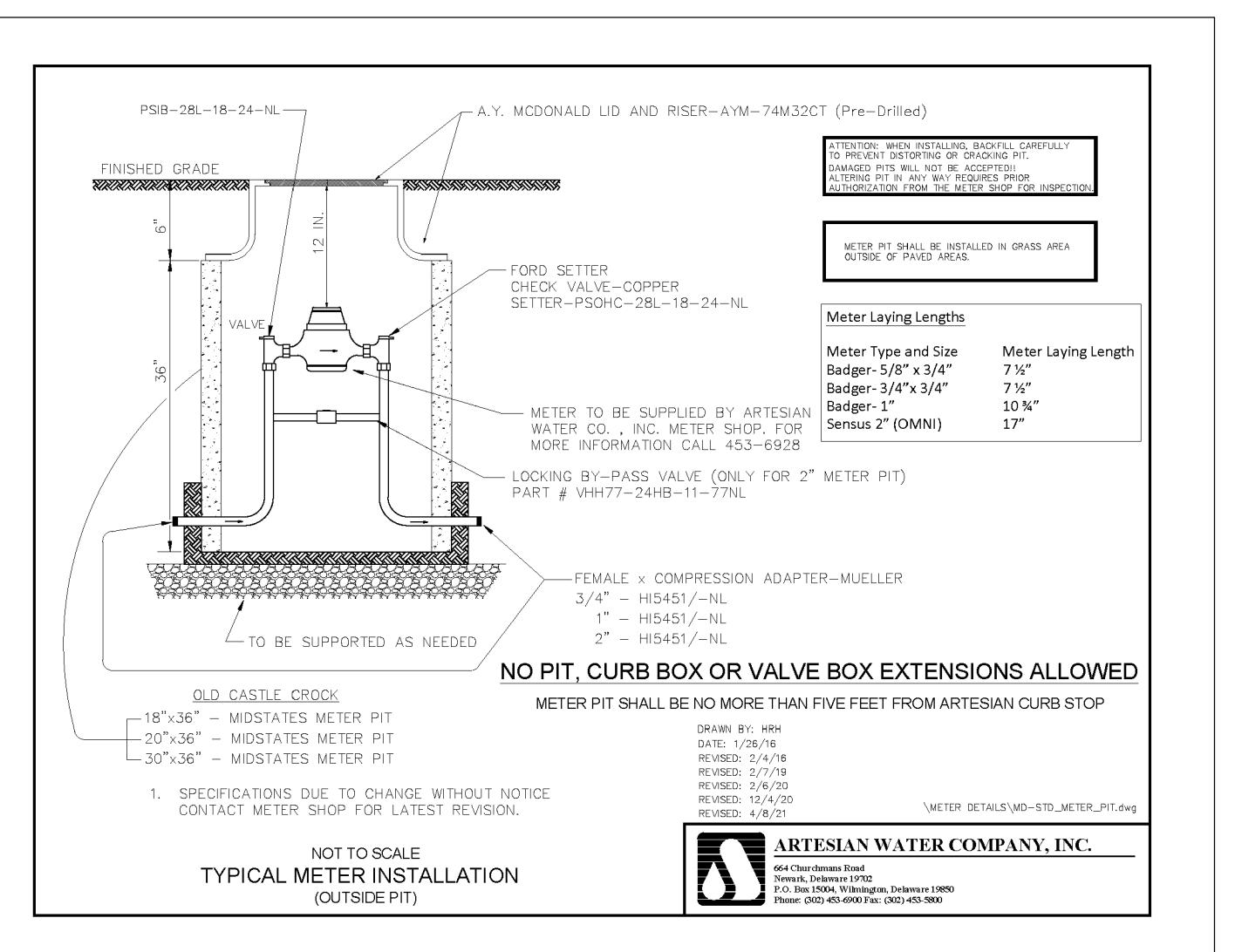
**Know what's below.
Call before you dig.**

MISS UTILITY PHONE 1-800-282-8555
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE

P:\C3083 307 GRAY STREET\T\C3083-1 RECORD AND SITE PLAN\PLANS\CNSTWATER\C3083-1 WATER

GENERAL NOTES

- WATER SUPPLY BY ARTESIAN WATER COMPANY. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ARTESIAN WATER COMPANY STANDARDS AND SPECIFICATIONS.
- ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
- THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
- Fixture locations shall be in accordance with the standards and specifications of ARTESIAN WATER COMPANY.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR UTILITY LOCATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY REPAIRED AT HIS/HER EXPENSE.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPE.
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTEINANT.
- DISINFECTION REQUIREMENTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARD C60-08.
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 3.5 FEET.
- THE CONTRACTOR SHALL PROVIDE PRESSURE REDUCING VALVES IN UNITS, IF NECESSARY.
- THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF THE ARTESIAN WATER COMPANY.
- EROSION CONTROL FOR WORK RELATED TO THE INSTALLATION OF WATERLINE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK OF 1989. SEE DETAIL SHEET 2 OF 2
- THE CONTRACTOR SHALL INSTALL AIR RELEASE VALVES AS SPECIFIED IN FIELD.
- ALL CUL-DE-SACS TO HAVE MINIMUM 38 FOOT CLEAR PAVED RADIUS.
- ALL DWELLINGS ARE REQUIRED TO HAVE METER PITS WHICH ARE TO BE PURCHASED FROM ARTESIAN WATER CO. AND INSTALLED BY THE DEVELOPER AT HIS COST.



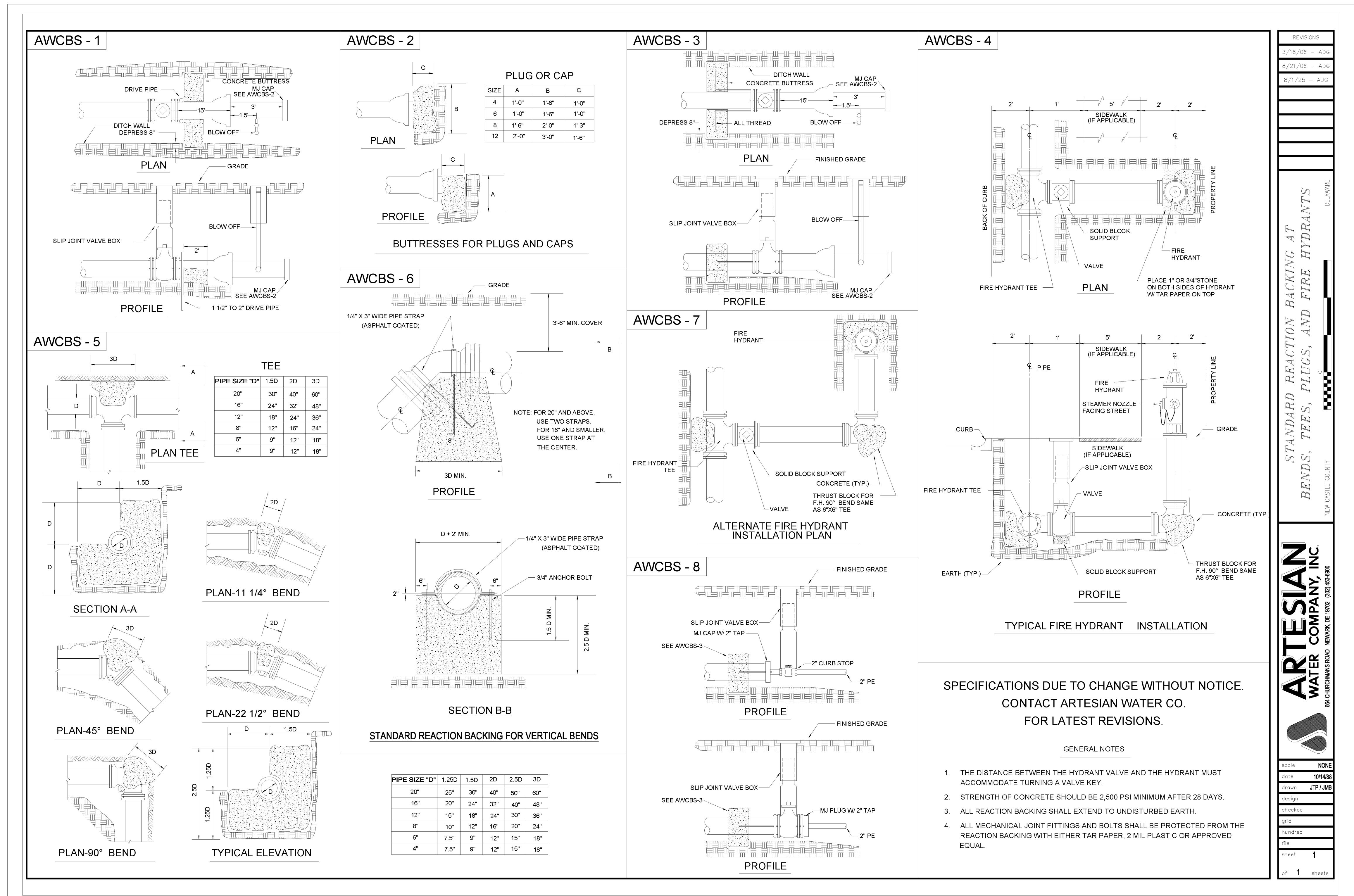
APPLICATION NO. 2024-(S)
WATER DISTRIBUTION PLAN
FOR
WALNUT STREET
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE
OWNER/DEVELOPER
INTERFAIR.COM LLC
613 N. WILMINGTON ST.
WILMINGTON, DE 19801
(302) 386-7144
CHOFERESSES@GMAIL.COM

REVISIONS: 10/13/25 - AWC REVISIONS
2. CONFORMANCE SET
CBL: 19/26
CM: 19/26
CBL: 19/26
CM: 19/26

Approved 4/7/25 - ADG
Curb Stop Protection

200 CONTINENTAL DRIVE
SUITE 400
NEWARK, DE 19713
PHONE: (302) 334-3377
WWW.LANDMARK-SE.COM
INFO@LANDMARK-SE.COM
PERIOD: 2/28/2023
FILE NAME: C0083-1 Water Plan DWG
FILE NAME: C0083-1 RECORD AND SITE PLAN DWG
FILE NAME: C0083-1 WATER C0083-1 WATER





REVISIONS

3/16/06 - ADD

8/21/06 - ADD

8/25/06 - ADD

1. CONFORMANCE SET

1/9/26

2. PROPERTY LINE

3. SIDEWALK (IF APPLICABLE)

4. VALVE

5. FIRE HYDRANT

6. PLACE 1" OR 3/4" STONE

7. W/ TAR PAPER ON TOP

8. BACK OF CURB

9. SLIP JOINT VALVE BOX

10. MJ CAP SEE AWCBS-2

11. DEPRESS 8"

12. ALL THREAD

13. BLOW OFF

14. CONCRETE BUTTRESS

15. SEE AWCBS-2

16. DITCH WALL

17. SEE AWCBS-2

18. CONCRETE

19. MJ CAP SEE AWCBS-2

20. DEPRESS 8"

21. ALL THREAD

22. BLOW OFF

23. CONCRETE BUTTRESS

24. SEE AWCBS-2

25. CONCRETE

26. MJ CAP SEE AWCBS-2

27. DEPRESS 8"

28. ALL THREAD

29. BLOW OFF

30. CONCRETE BUTTRESS

31. SEE AWCBS-2

32. CONCRETE

33. MJ CAP SEE AWCBS-2

34. DEPRESS 8"

35. ALL THREAD

36. BLOW OFF

37. CONCRETE BUTTRESS

38. SEE AWCBS-2

39. CONCRETE

40. MJ CAP SEE AWCBS-2

41. DEPRESS 8"

42. ALL THREAD

43. BLOW OFF

44. CONCRETE BUTTRESS

45. SEE AWCBS-2

46. CONCRETE

47. MJ CAP SEE AWCBS-2

48. DEPRESS 8"

49. ALL THREAD

50. BLOW OFF

51. CONCRETE BUTTRESS

52. SEE AWCBS-2

53. CONCRETE

54. MJ CAP SEE AWCBS-2

55. DEPRESS 8"

56. ALL THREAD

57. BLOW OFF

58. CONCRETE BUTTRESS

59. SEE AWCBS-2

60. CONCRETE

61. MJ CAP SEE AWCBS-2

62. DEPRESS 8"

63. ALL THREAD

64. BLOW OFF

65. CONCRETE BUTTRESS

66. SEE AWCBS-2

67. CONCRETE

68. MJ CAP SEE AWCBS-2

69. DEPRESS 8"

70. ALL THREAD

71. BLOW OFF

72. CONCRETE BUTTRESS

73. SEE AWCBS-2

74. CONCRETE

75. MJ CAP SEE AWCBS-2

76. DEPRESS 8"

77. ALL THREAD

78. BLOW OFF

79. CONCRETE BUTTRESS

80. SEE AWCBS-2

81. CONCRETE

82. MJ CAP SEE AWCBS-2

83. DEPRESS 8"

84. ALL THREAD

85. BLOW OFF

86. CONCRETE BUTTRESS

87. SEE AWCBS-2

88. CONCRETE

89. MJ CAP SEE AWCBS-2

90. DEPRESS 8"

91. ALL THREAD

92. BLOW OFF

93. CONCRETE BUTTRESS

94. SEE AWCBS-2

95. CONCRETE

96. MJ CAP SEE AWCBS-2

97. DEPRESS 8"

98. ALL THREAD

99. BLOW OFF

100. CONCRETE BUTTRESS

101. SEE AWCBS-2

102. CONCRETE

103. MJ CAP SEE AWCBS-2

104. DEPRESS 8"

105. ALL THREAD

106. BLOW OFF

107. CONCRETE BUTTRESS

108. SEE AWCBS-2

109. CONCRETE

110. MJ CAP SEE AWCBS-2

111. DEPRESS 8"

112. ALL THREAD

113. BLOW OFF

114. CONCRETE BUTTRESS

115. SEE AWCBS-2

116. CONCRETE

117. MJ CAP SEE AWCBS-2

118. DEPRESS 8"

119. ALL THREAD

120. BLOW OFF

121. CONCRETE BUTTRESS

122. SEE AWCBS-2

123. CONCRETE

124. MJ CAP SEE AWCBS-2

125. DEPRESS 8"

126. ALL THREAD

127. BLOW OFF

128. CONCRETE BUTTRESS

129. SEE AWCBS-2

130. CONCRETE

131. MJ CAP SEE AWCBS-2

132. DEPRESS 8"

133. ALL THREAD

134. BLOW OFF

135. CONCRETE BUTTRESS

136. SEE AWCBS-2

137. CONCRETE

138. MJ CAP SEE AWCBS-2

139. DEPRESS 8"

140. ALL THREAD

141. BLOW OFF

142. CONCRETE BUTTRESS

143. SEE AWCBS-2

144. CONCRETE

145. MJ CAP SEE AWCBS-2

146. DEPRESS 8"

147. ALL THREAD

148. BLOW OFF

149. CONCRETE BUTTRESS

150. SEE AWCBS-2

151. CONCRETE

152. MJ CAP SEE AWCBS-2

153. DEPRESS 8"

154. ALL THREAD

155. BLOW OFF

156. CONCRETE BUTTRESS

157. SEE AWCBS-2

158. CONCRETE

159. MJ CAP SEE AWCBS-2

LANDS N/F
TOWNSEND COVE, LLC
T.P. 25-002.00-097
I.N. 20180830-0044362
ZONED: R2 (T.O.T.)
15.2286 ACRES ±

15.2286 ACRES ±

EQUITY IN SPACES

I.N. 20180830-0044362
ZONED: P2 (T.O.T.)

ZONED: R2 (1.0.1.)

5 2286 ACRES

15.2286 ACRES ±

LANDS N/F
GRAY STREET PROPERTIES LLC
T.P. 25-008.00-139
I.N. 20031231-0169027

LANDS N/F
TOWNSEND VILLAGE II
T.P. 25-008.00-139
I.N. 20031231-0169027

LANDS N/F
I M & LORRAINE A
SEBASTIAN
25-00200-081
1806110027622

15' WIDE UTILITY EASEMENT IS HEREBY
DEDICATED TO ARTESIAN & OFFICE OF
DRINKING WATER PER THIS AGREEMENT.

LANDS N/F
EVERET ZICARELLI
T.P. 25-002.00-082
I.N. 20180124 0003921

LANDS N/F
BANKS JARVIS III & VERNICKA Y
T.P. 25-002.00-083
I.N. 20180108 0001190

LANDS N/F
**MATTHEW F MARENCO &
SARAH ELIZABETH IRENE**
T.P. 25-001.00-213
I.N. 20190823 0066662

GINN ST

60' WIDE RIGHT OF WAY

**UTILITY EASEMENT EXHIBIT - TO BENEFIT
NEWCASTLE COUNTY DEPT. OF PUBLIC WORKS
ACROSS THE LANDS OF
GRAY STREET PROPERTIES LLC**

GRAY STREET PROPERTIES LLC
APPOQUINIMINK HUNDRED / NEWCASTLE COUNTY / DE

NCC 6-5442

BECKER
MORGAN
G R O U P

ARCHITECTURE
ENGINEERING
Dover, DE
309 S. Governors Ave.
Dover, DE 19904
Ph. 302.734.7950
Fax 302.734.7965

BMG: 2024141.00
SCALE: 1" = 50'
DATE: 10/01/2025
DRAWN BY: R.J.M.

TOWNSEND POLICE DEPARTMENT



661 South Street, P.O. Box 223, Townsend, DE 19734
Office 302-464-1262 or 302-464-1237 / Emergency and Non-Emergency 911

FEBRUARY 2026 Town Council Meeting Period: January 1, 2026 – January 30, 2025

(1) Total Calls For Service - TPD: 17
- DSP: 21

Civil Matter:	1	911 Disconnect:	5
Sex Offense:	0	AOA PI Crash:	1
PD Crash:	7	Psychiatric Incident:	1
AOA Domestic:	1	Suspicious Activity:	2
Traffic Service:	4	CPC:	1
Parking Violation:	0	Abuse/Neglect:	0
Traffic Hazard:	0	Welfare Check:	0
Burg Alarm:	6	AOA Welfare Check:	0
Public Assist:	3	Domestic Incident:	4
Repossession:	1	Court Violation:	1

(2) School Traffic Details: 10

(3) Participated in ____ Community Outreach Events:

2024 / 2025

(4) 2024 Total Calls For Service – TPD: 487
(5) 2025 Total Calls For Service – TPD: 584

Town of Townsend Engineer's Report

TO: Julie Goodyear, Town Manager

FROM: Brian Miller, PE

DATE: January 30, 2026

Permit Reviews

TWNSD25001

Date	Description
1/13/2026	Returned review for permit 26-00058
1/20/2026	Returned review for permit 26-00061
1/20/2026	Returned review for permit 26-00062
1/20/2026	Returned review for permit 26-00063
1/26/2026	Returned review for permit 26-00064

Capital Projects

TWNSD25011 Public Works Building

Date	Description
12/15/2025	Provided proposal for requested services

Development Projects

TWNSD25003 Woods at Hidden Creek

Date	Description
12/29/2025	Provided Phase 7 Bonding Recommendation Letter

TWNSD25007 Walnut Street West

Date	Description
1/29/2025	Reviewing the latest submission.

Scott Lobdell, Mayor
Joseph Bangura, Councilman
Matthew Chapman, Councilman
Dylan Wiggins, Councilman
Syed Sharif, Councilman



Julie Goodyear, Town Manager
Jennifer Helms, Financial Officer
Kelsey Gallagher, Town Clerk
Brian Miller, Town Engineer
Lisa Hatfield, Town Solicitor
Julie Abrams, Administrative Assistant

Town Manager- Monthly Report

January 2026 Recap

Townhall/TM:

- TM attended Council Meeting- 1/7
- TM attended PWLUD MTG- 1/8
- TM & PWS attended required mtg with DNREC for Urban Tree & Forestry Grant- 1/9
- TM attended MTG with Polie Building Contractor to review inspection concerns- 1/13
- TM attended Planning Commission MTG- 1/13
- TM and PWS attended Bidders MTG for PW facility RFP- 1/16
- TM attended PS MTG- 1/21
- TM attended GIS Mapping Kick Off MTG- 1/21
- TM and Staff attended MTG with First State Inspection Agency to review relationship and performance along with Permit application improvements- 1/22
- TM attended Special Planning Commission MTG- 1/23
- TM attended MTG with GIS & Vialytics partners to establish relationship and integration- 1/27
- TM attended PS MTG- 1/30/2026
- TM attended Special Planning Commission MTG- 1/30/2026
- TM attended monthly PW staff MTG- 1/30
-

Permits: 11 permits issued in January

• Basement (2)	• Plumbing (1)
• Mechanical (1)	• Pool (1)
• New Construction (4)	• Shed (2)

Licensing:

- 16 Contractor License issued/ renewed in January
 - 159 Active Contractor Licenses
- 8 Business Licenses renewed for 2026
- 9 Rental Licenses renewed for 2026

Grants:

- UCF Grant- Tree Planting at Park
 - STATUS: Application prep started with site visit scheduled for 1/9 & soil testing ordered
 - Requesting funding to remove invasive trees and replace with Delaware approved trees.
- Game Time Grant: Playground Structures
 - STATUS: Application Submitted 9/12/2025
 - Requesting \$100,000 for new playground equipment for the Smaller park revamp.

Rentals: 0 Park, Pavillion or gazebo Rentals in January

Code Enforcement: 0 Violation(s) Issued

Property Information Requests: 23 (Generating \$230.00 in revenue)

- 25-001.00-120
- 25-004.00-067
- 25-001.00-057
- 25-001.00-110
- 25-001.00-129
- 25-001.00-142
- 25-002.00-048
- 25-002.00-048
- 25-002.00-076
- 25-004.00-052
- 25-004.00-084
- 25-004.00-126
- 25-004.00-278
- 25-008.00-091
- 25-008.00-102
- 25-008.00-112
- 25-004.00-086
- 25-002.00-029
- 25-008.00-193
- 25-001.00-019
- 25-004.00-308
- 25-004.00-307
- 25-004.00-303

FOIA Requests: 5 Requests

- Permit information for time period (12/1/25 to 12/31/2025)
- Permit and Violation History for 412 Main Street
- Permit and Violation History for 412 Main Street
- Permit and development history for areas near 893 Noxontown Road.
- Records request for any installation or removal of storage tanks near 648 Caldwell Corner Rd.

Owner Complaints:

Multiple snow complaints received for the snow event that originated on 1/25/2026. Please see PWS report for additional details of complaints.

Respectfully Submitted,

Julie Goodyear
Town Manager



TOWN OF TOWNSEND
GENERAL FUND INCOME STATEMENT
December 31, 2025

REVENUES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Fire House Impact Fees	15,000.00	6,000.00	(9,000.00)	40%
Franchise Fees	18,000.00	11,877.52	(6,122.48)	66%
Interest Income	153,500.00	93,118.81	(60,381.19)	61%
Miscellaneous Income	60,650.00	2,600.68	(58,049.32)	4%
Property Transfer Taxes	300,000.00	161,175.43	(138,824.57)	54%
Real Estate Property Tax	834,200.00	846,373.22	12,173.22	101%
Violations, Fines & Penalties	2,500.00	1,040.00	(1,460.00)	42%
Rental Registration Fee	1,700.00	440.00	(1,260.00)	26%
Total Administrative Revenues	1,385,550.00	1,122,625.66	(262,924.34)	81%
Impact Fees	135,000.00	54,000.00	(81,000.00)	40%
Licenses & Fees	73,600.00	21,185.00	(52,415.00)	29%
Town Permits	103,700.00	76,739.12	(26,960.88)	74%
Total Permits & Licenses Revenues	312,300.00	151,924.12	(160,375.88)	49%
Miscellaneous Income PW	-	227.00	227.00	
Total Public Works Revenues	-	227.00	227.00	
Park rental	2,000.00	425.00	(1,575.00)	21%
Total Park & Recreation Revenues	2,000.00	425.00	(1,575.00)	21%
Grants Revenue	119,100.00	31,023.62	(88,076.38)	26%

Municipal Street Aid Grant	59,800.00	28,801.18	(30,998.82)	48%
Total Grant Revenues	178,900.00	59,824.80	(119,075.20)	33%
Community Events: Donations	-	480.00	480.00	
Town Fair Donation	5,000.00	-	(5,000.00)	0%
Veterans & Social Services Donations	-	134.00	134.00	
Community Events: Town Fair	5,500.00	(50.00)	(5,550.00)	-1%
Total Community Events Revenues	10,500.00	564.00	(9,936.00)	5%
General Fund Revenue Totals	1,889,250.00	1,335,363.58	(553,886.42)	71%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Fire House Impact Fees	15,000.00	-	(15,000.00)	0%
Accounting Audit	25,000.00	23,000.00	(2,000.00)	92%
Investments Fees	27,000.00	13,380.39	(13,619.61)	50%
Computer/Software Support	89,200.00	71,933.01	(17,266.99)	81%
Copier Maintenance Agreement	1,300.00	643.80	(656.20)	50%
Town Insurance	33,800.00	34,964.20	1,164.20	103%
Town Hall Cleaning/Pest Crtl	1,350.00	1,050.00	(300.00)	78%
Membership Fees	1,800.00	325.00	(1,475.00)	18%
General Town Hall Expenses	7,200.00	664.64	(6,535.36)	9%
Security System @ 141 Main Street	1,000.00	623.00	(377.00)	62%
Office Supplies	2,000.00	762.66	(1,237.34)	38%
Postage & Delivery	4,000.00	800.77	(3,199.23)	20%
General Legal	35,000.00	25,454.05	(9,545.95)	73%
Subscription Fee	1,100.00	-	(1,100.00)	0%
Training Classes	2,500.00	-	(2,500.00)	0%
Trash Collection Service	256,600.00	126,729.18	(129,870.82)	49%
Utilities - Town Hall	16,300.00	7,447.06	(8,852.94)	46%
Miscellaneous Expense	7,100.00	3,593.18	(3,506.82)	51%
Total Administrative Expenditures	527,250.00	311,370.94	(215,879.06)	59%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Payroll & Benefits	499,900.00	243,328.03	(256,571.97)	49%
Total Payroll Expenditures	499,900.00	243,328.03	(256,571.97)	49%
Street Lights	106,070.00	55,328.39	(50,741.61)	52%
Total Street Lights Expenditures	106,070.00	55,328.39	(50,741.61)	52%
General Engineering Studies	50,400.00	5,667.50	(44,732.50)	11%
Code Enf/Inspections	55,000.00	21,068.72	(33,931.28)	38%
Lot Grading Reviews	11,000.00	-	(11,000.00)	0%
Charter/Comp Plan Fees	1,000.00	-	(1,000.00)	0%
Total Code & Planning Expenditures	117,400.00	45,058.62	(72,341.38)	38%
Town Equipment Fuel	4,000.00	1,618.21	(2,381.79)	40%
Park Maintenance Expense	36,000.00	21,381.75	(14,618.25)	59%
Vehicle/Equipment Maintenance	4,450.00	3,081.12	(1,368.88)	69%
Public Works Equipment	500.00	483.23	(16.77)	97%
Public Works Uniforms	1,800.00	513.41	(1,286.59)	29%
Municipal Street Aid (Control Account)	-	-	-	
Street, Sidewalk & Curb Maintenance	30,500.00	14,012.96	(16,487.04)	46%
Snow Removal	12,900.00	5,139.80	(7,760.20)	40%
Total Public Works Expenditures	90,150.00	46,230.48	(43,919.52)	51%
Community Relations	1,150.00	500.00	(650.00)	43%
Community Events Expense	11,800.00	2,221.01	(9,578.99)	19%
National Wildlife Foundation/Habitats	600.00	-	(600.00)	0%
Total Community Events Expenditures	13,550.00	2,721.01	(10,828.99)	20%
General Fund Operating Expenditure Totals	1,354,320.00	704,037.47	(650,282.53)	52%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Public Works Capital Expense	124,800.00	13,248.00	(111,552.00)	11%
Capital Expenses	210,000.00	-	(210,000.00)	0%
Total Capital Expenses	334,800.00	13,248.00	(321,552.00)	4%
General Fund Capital Expenditure Totals	334,800.00	13,248.00	(321,552.00)	4%



TOWN OF TOWNSEND
POLICE INCOME STATEMENT
December 31, 2025

REVENUES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Impact Fees: Public Safety	30,000.00	12,000.00	(18,000.00)	40%
Fines - Police	12,000.00	3,833.61	(8,166.39)	32%
Grant Revenue	673,300.00	300,000.00	(373,300.00)	45%
Miscellaneous Income	4,800.00	2,000.00	(2,800.00)	42%
Transfers In	199,970.00	-	(199,970.00)	0%
Police Fund Revenue Totals	920,070.00	317,833.61	(602,236.39)	35%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Repairs & Maint - Vehicles/Equipment	9,400.00	588.37	(8,811.63)	6%
Security System - 661 South St	4,100.00	-	(4,100.00)	0%
Computer/Software Expense	900.00	822.50	(77.50)	91%
PD Equipment/Office Equipment	5,500.00	1,519.96	(3,980.04)	28%
Training Classes	5,700.00	1,962.27	(3,737.73)	34%
Fuel	10,100.00	3,000.35	(7,099.65)	30%
Insurance - (Gen Liability & Property)	11,200.00	11,949.29	749.29	107%
Uniforms: PD	3,400.00	1,326.44	(2,073.56)	39%
General Engineering	1,000.00	-	(1,000.00)	0%
Legal Services	2,000.00	197.50	(1,802.50)	10%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	50%	Target % for Dec
Utilities - PD	19,000.00	6,927.48	(12,072.52)	36%	
Miscellaneous Expense	5,000.00	3,071.31	(1,928.69)	61%	
Total Administrative Expenditures	77,300.00	31,365.47	(45,934.53)	41%	
Payroll & Benefits	369,600.00	160,564.57	(209,035.43)	43%	
Total Payroll Expenditures	369,600.00	160,564.57	(209,035.43)	43%	
Police Fund Operating Expenditure Totals	446,900.00	191,930.04	(254,969.96)	43%	
Capital Expense - PD	673,300.00	103,013.10	(570,286.90)	15%	
Police Fund Capital Expenditure Totals	673,300.00	103,013.10	(570,286.90)	15%	



TOWN OF TOWNSEND
SPECIAL REVENUE FUND INCOME STATEMENT
December 31, 2025

REVENUES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Grants Revenue	50,900.00	-	(50,900.00)	0%
Special Revenue Fund Revenue Totals	50,900.00	-	(50,900.00)	0%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Capital Expenses - ARPA	50,900.00	450.00	(50,450.00)	1%
Special Revenue Fund Expenditure Totals	50,900.00	450.00	(50,450.00)	1%



TOWN OF TOWNSEND
POLICE GRANTS INCOME STATEMENT
December 31, 2025

REVENUES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Police Grants Revenue	34,000.00	27,680.40	(6,319.60)	81%
Police Grants Fund Revenue Totals	34,000.00	27,680.40	(6,319.60)	81%

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec
				50%
Overtime	19,100.00	8,033.31	-11,066.69	42%
Misc Expense	9,400.00	0.00	-9,400.00	0%
Police Grants Fund Expenditure Totals	28,500.00	8,033.31	-20,466.69	28%
Misc Expense	5,500.00	5,487.70	(12.30)	100%
Police Grants Capital Expenditure Totals	5,500.00	5,487.70	(12.30)	100%

Scott Lobdell, Mayor
Joseph Bangura, Councilman
Matthew Chapman, Councilwoman
Dylan K. Wiggins, Councilman
Syed Sharif, Councilman



Julie Goodyear, Town Manager
Jennifer Helms, Financial Officer
Kelsey Gallagher, Town Clerk
Julie Abrams, Administrative Assistant
Brian Miller, P.E., Town Engineer
Lisa Hatfield, Town Attorney

Public Works Supervisor – Monthly Report

January 2026

*****Weather Update*****

2 Weather Events

- Sunday, January 18
 - Minor event with less than 2 inches
 - All town roads were treated with salt by PW
- Saturday, January 24th through Monday, January 26th
 - Major snow event with 8+ inches
 - Pretreatment of salt Saturday evening
 - Austin Bednash assist - Sunday, plowing began at 7:30am through Monday 2am - Town roads and streets
 - PW – plowed PD and TH Multiple times to keep clear
 - Monday – Tuesday – PW continued snow cleanup and salting at TH, Municipal Park sidewalk and parking lot, and Wiggins Mill Facility
 - Spot cleanup of snow and salting throughout the remainder of the week
- Issues –
 - Due to the low temperatures, salt is not effective at temperatures below 15° F. Sun and clear skies with light wind has helped.
 - Layers of ice have made it difficult to clear additional snow for walking trails at municipal park.

Public Works January Tasks / Projects:

- Completed 52 Vialytics Tasks
- Sidewalk Assessment – Completed
 - Creating priority levels to determine repair
- Dodge Work Truck Repaired – Reverse gear not working
 - Transmission was repaired by Turn of the Wrench in Middletown
- F250 oil Change
- Toilet Replaced at PD
- F250 tire repair
 - Lag screw lodged in tire – plug repair done by PW at no cost
- Collected Soil Samples for tree replacement at Municipal Park
- Holiday decorations taken down throughout town with assistance from Middletown PW
- RFP for Public Works Facility opened
- TH HVAC system – 2 of 3 systems replaced by Summit Heating and Cooling
- Performed Evening light inspection

- 4 issues reported and corrected by DelMarva

Upcoming February Tasks / Projects:

- PW inventory log update
- Prep for mulch removal and replace at South St Park
- Order materials for South St Park fence
- Remove old fence and install new split rail fence
 - ***Weather dependant***
 - PW will perform the work

- Became a member of APWA – American Public Works Association

- Attended APWA Dinner – 1/15/2026

- Attended Monthly DFIT meeting – 1/20/2026

-

Town of Townsend

Snow Log

Date of Event	Saturday, January 24th, 2026 through Monday, January 26th, 2026
Time Efforts Started	Saturday: PWS from 9am to 11am pre-salting Town Sunday: PWS from 9am to 11am plowing PD, 1pm to 3pm plowing PD Monday: PWS & crew start at 8am to 4pm Tuesday: PWS & crew 8am to 4pm Saturday: No Snow or inclement weather. Sunday: heavy snow accumulation =8" Monday: sprinkles of Snow Accumulation <2"
Weather Conditions	Saturday: 32°-40° Sunday: 17°- 24° Monday: 25°- 32°
Temperature:	Saturday: PWS- Rick Boyer Sunday: PWS- Rick Boyer Monday: All PW Crew members
Staff involved	Saturday: N/A Sunday: Austin & Bednash Start time: 7:30am Monday: Austin & Bednash
Contractors Involved	Saturday: pre-salting Sunday: plowing PD Monday: Plowing PD & snow removal of sidewalks & public spaces Tuesday: Municipal Park parking lot and sidewlk on Edgar Rd
Scope of PW staff Effots	Saturday: N/A Sunday: Plowing Monday: N/A Saturday: None Sunday: None Monday: None Tuesday: None
Scope of Contractor Effots	Yes- see complaints in Public Drive Z:\Public Works\Snow\Snow Event 1.25.26\Complaints
Any Incidents Occur?	
Complaints	Complaints Received: Complaint #1: Cul de Sac of TVII West- lack of plowing Complaint #2: Hidden Creek and lack of plowing Complaint #3: TVI "poor plowing" and mailbox damages & lack of confidence in contracted company Complaint #4: TVII lack of clearing of snow from roadways- complaint of no tickets for vehicles who did not comply with street parking restrictions resulting in "sub-par" plowing Complaint #5:TVI resident complaint of being "plowed into their driveway" Complaint #6: TVI resident stated lack of prep from Town resulted in poor corrections Complaint #7: Ginn St. resident concerns with mailbox access for USPS Complaint #8: TVI resident does not like the one lane pass on roads to remove snow, feels is should be curb to curb removal Complaint #9: Townsend Station- lack of ice corrections Complaint #10: TVI resident does not like the one lane pass- feels cars should be towed to get off the street for more space to plow

Completed By: _____ Richard Boyer - PWS _____

Date: 1/29/2026

Reviewed By: _____ Julie Goodyear, Town Manager _____

Date: 1/30/2026