

**Townsend Town Council Meeting Agenda**  
**February 4<sup>th</sup>, 2026 @ 7:00 pm**  
**VIA CONFERENCE CALL & Town Hall**  
**141 Main St, Townsend, DE 19734**

**7:00 pm Town Council Meeting**

- I. Call to Order:
- II. Opening Ceremonies
  - A. Roll Call:
  - B. Pledge of Allegiance
  - C. Moment of Silence
  - D. Recognition of Visitors:
  - E. Announcements:
- III. General Citizen Comments
- IV. Review/Adoption of Agenda
- V. Approval/ Rejection of Minutes:
  - A. **ACTION ITEM:** Approval/Rejection of Town Council Minutes from January 7<sup>th</sup>, 2025 Town Council Meeting.
- VI. **ACTION ITEM:** Discussion and review with potential vote of Council of Final Plans Submission of Minor subdivision "Walnut Street-East" for approval and recordation.
- VII. **ACTION ITEM:** Discussion and review with potential vote of Council of Final Plans Submission of Major Subdivision "Townsend Cove" for approval and recordation.
- VIII. **ACTION ITEM:** Discussion and review of Sanitary Sewer Easement Consideration for Townsend Cove.
- IX. Departmental Reports:
  - A. Mayor S. Lobdell
  - B. New Castle County Councilman David Carter
  - C. Town of Townsend Police Chief's Report
    1. **ACTION ITEM:** Discussion and review with potential vote of Council to approve new Police Salaries for new officers.
    2. **ACTION ITEM:** Discussion and review of updates on hiring new members of Police Force.
  - D. Town Solicitor Lisa Hatfield
  - E. Town Engineer Brian Miller

Town Meetings will be held both in person and in a virtual format.

Those wishing to attend virtually may dial **1(301)715-8592**. When directed, provide following meeting ID **827- 6421-7575#** and then the following password **361631#** to enter the meeting. If you choose to access the meeting online click the following link: <https://us02web.zoom.us/j/82764217575?pwd=aHI4RDhTZ0xiME1HV0ZOcHRxSHZ3QT09>

Residents will be able to view documents posted to the meeting tab on the Town website at <https://townsend.delaware.gov> or by joining the meeting via computer.

F. Town Manager Julie Goodyear

1. **ACTION ITEM:** Discussion and review of updates on hiring a new temporary Part-time Public Works Crew Member.

G. Public Works Supervisor Rick Boyer

**X. Committee Reports:**

A. **Finance Committee:** Chair: Councilman J. Bangura, Co-Chair: Mayor S. Lobdell

1. **ACTION ITEM:** Review and possible discussion on the December 2025 Budget vs. Actual Reports.

B. **Human Resources Committee:** Chair: Councilman Sharif, Co-Chair: Mayor S. Lobdell

C. **Public Works and Land Use Development Committee:** Chair: Councilman M. Chapman, Co-Chair: Councilman S. Sharif

1. **ACTION ITEM:** Opening of PW Facility RFP proposals received.

D. **Public Safety Committee:** Chair: Councilman D. Wiggins, Co-Chair: Councilman J. Bangura

1. **ACTION ITEM:** Discussion and Review with potential vote of Council to approval of Change Order Requests and spending threshold for Police Building Items.

E. **Community Engagement Committee:** Chair: Councilman D. Wiggins

F. **Code Review Committee:** Chair: Mayor S. Lobdell, Co-Chair: Councilman M. Chapman

1. **ACTION ITEM:** Second Reading of "Ordinance 2026-001" as it relates to Chapter 18.28 updates for the Townsend Municipal code with potential vote for approval.
2. **ACTION ITEM:** Second Reading of "Ordinance 2026-002" as it relates to Chapter 16 updates for the Townsend Municipal Code with potential vote for approval.

XI. Discussion of future agenda items.

XII. Recess Council Meeting to Convene Executive Session.

XIII. **Convene Executive Session:** Pursuant to 29 Del. C. §§10004(b)(4)(9), the Town Council will consider a motion to meet in an executive session for the discussion of potential litigation which will include legal advice or opinions from an attorney-at-law and personnel matters.

XIV. **Close Executive Session & Re-convene Council Meeting.**

A. **ACTION ITEM:** Possible vote of Council.

XV. Adjournment.



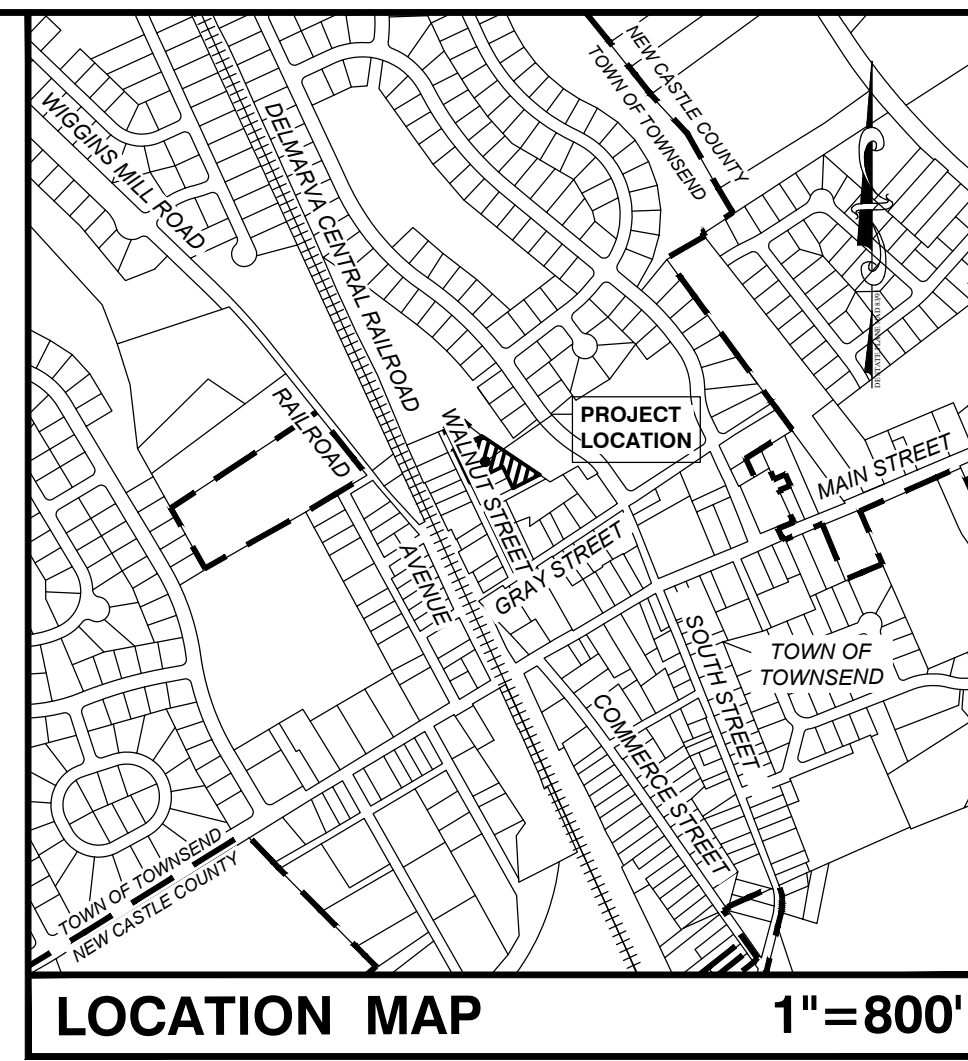
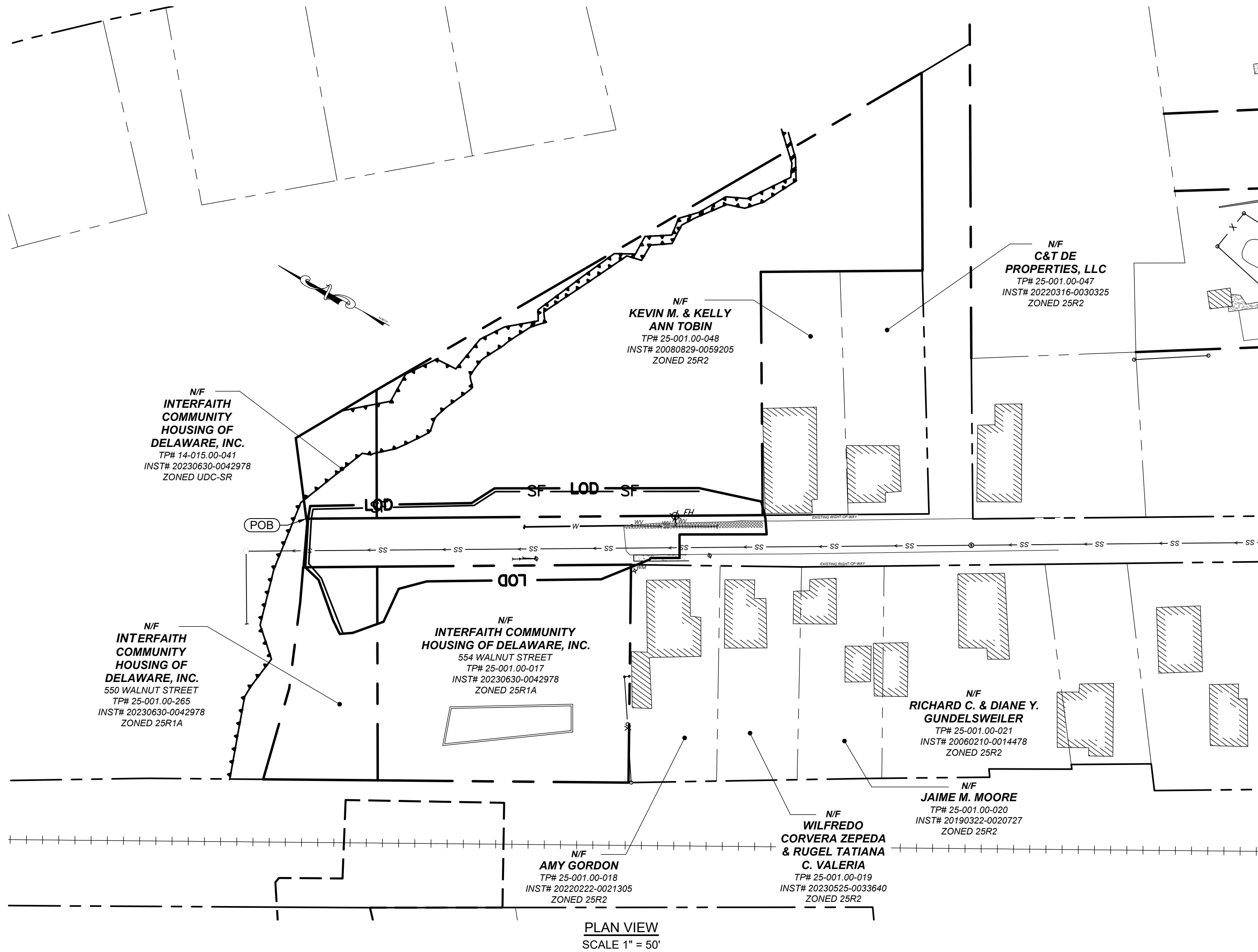
PROJECT NOTES:

- PARCEL DATA:  
TAX MAP NUMBER: 25-001.00-049  
NEW CASTLE CONSERVATION DISTRICT PROJECT NUMBER:  
SITE ADDRESS: 0 WALNUT ST, TOWNSEND, DE 19734  
LATITUDE/LONGITUDE: N39° 23' 49.9085" / W75° 41' 43.0299"  
(BENCHMARK REFERENCED BELOW)  
EXISTING SITE AREA: 1.020± ACRES  
PROPOSED SITE AREA: 0.965± ACRES  
EXISTING WETLAND AREA: SEE NOTE 4  
PROPOSED CONDITION: EXTEND WALNUT STREET TO DEVELOP TWO SINGLE FAMILY DWELLINGS  
PROPOSED DISCHARGE LOCATIONS:  
POA#1 LOD IS 0.32± ACRES (DISCHARGES TO ADJACENT INTERMITTENT STREAM)  
  
TOPOGRAPHIC SURVEY:  
FIELD SURVEYS BY LANDMARK SCIENCE & ENGINEERING, INC. JANUARY-JUNE 2024.  
  
DATUM:  
VERTICAL: NAVD 1988  
HORIZONTAL: DE STATE PLANE NAD 83  
BENCHMARK:  
SANITARY MANHOLE IN WALNUT STREET ROW  
EL. 50.00
- OWNER/DEVELOPER DATA:  
OWNER NAME:  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
613 N. WASHINGTON ST.  
WILMINGTON, DE 19801
- SITE DESIGNER DATA: CRAIG M. LYNCH, P.E.  
LANDMARK SCIENCE & ENGINEERING  
200 CONTINENTAL DRIVE, SUITE 400  
NEWARK, DELAWARE 19713  
302-323-9377 EXT. 127  
CRAIGL@LANDMARK-SE.COM
- WETLANDS: THIS SITE WAS EVALUATED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1), AND SUBSEQUENT PUBLIC NOTICES, TO IDENTIFY THE PRESENCE OF JURISDICTIONAL WETLANDS. WETLANDS WERE FOUND BY OTHERS TO EXIST ON THE SITE, TOTALING IN AREA 3.217± S.F. (0.074± AC.) OF LAND, ARE SHOWN ON THIS PLAN
- NO 100-YEAR FLOOD PLAIN EXISTS ON THIS PARCEL, IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP 10003C0315L, PANEL 315 OF 475, DATED JANUARY 22, 2020.

SEDIMENT AND STORMWATER CONSTRUCTION NOTES:

- THE DNREC SEDIMENT AND STORMWATER PROGRAM SHALL BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND/OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY DNREC OR THE DELEGATED AGENCY.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHOULD BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE STAMPED DATE OF APPROVAL.
- POST-CONSTRUCTION VERIFICATION DOCUMENTS SHALL BE SUBMITTED TO THE DEPARTMENT OR DELEGATED AGENCY WITHIN 60 DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENTS OF 7 DEL.C. CH. 60 AND THE CURRENT DELAWARE CONSTRUCTION GENERAL PERMIT (CGP).
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.
- WHEN DIRECTED BY THE DEPARTMENT OR THE RELEVANT DELEGATED AGENCY, THE OWNER SHALL ACQUIRE THE SERVICES OF A THIRD PARTY CERTIFIED CONSTRUCTION REVIEWER (CCR) TO PERFORM WEEKLY CONSTRUCTION REVIEWS. SEDIMENT AND STORMWATER MANAGEMENT PLANS APPROVED BY THE DEPARTMENT SHALL HAVE A THIRD PARTY CCR.

# SEDIMENT & STORMWATER MANAGEMENT PLANS COVER SHEET AND GENERAL NOTES FOR WALNUT STREET EXTENSION APPOQUINIMINK HUNDRED - NEW CASTLE COUNTY DELAWARE APPOQUINIMINK RIVER WATERSHED TAX PARCEL 25-001.00-049



LEGEND	
	EXISTING WATER MAIN AND WATER VALVE
	PROPOSED WATER MAIN AND WATER VALVE
	EXISTING VERTICAL P.C.C. CURB
	PROPOSED P.C.C. CURB TYPE 1-6
	EXISTING P.C.C. SIDEWALK
	PROPOSED P.C.C. SIDEWALK
	EXISTING HANDICAP RAMP
	PROPOSED HANDICAP RAMP
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING BUILDING SETBACK
	PROPOSED BUILDING SETBACK
	EXISTING STORMWATER MANAGEMENT AREA
	PROPOSED STORMWATER MANAGEMENT AREA
	EXISTING RIPARIAN BUFFER AREA
	PROPOSED RIPARIAN BUFFER AREA
	EXISTING STORM DRAIN AND CATCH BASIN
	PROPOSED STORM DRAIN AND CATCH BASIN
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING LIMITS OF DISTURBANCE
	PROPOSED LIMITS OF DISTURBANCE
	WETLAND DELINEATION
	OVERLAND FLOW ARROW
	PHASING DELINEATION LINE

SEDIMENT & STORMWATER APPROVAL STAMP

NEW CASTLE CONSERVATION DISTRICT  
Sediment and Stormwater Management  
Plan Approval

Project ID: 2025-09

By: D. Dwight Walters, P.E.

Approval Date: 08/20/25

Expiration Date: 08/20/30

INDEX OF SHEETS

COVER SHEET AND GENERAL NOTES	CE-01
PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	CE-02
CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN	CE-03
CONSTRUCTION SITE STORMWATER MANAGEMENT DETAILS	CE-04

CERTIFICATION OF OWNER

I, CARLTON E. BOWERS, JR., OF INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC., CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION, AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT ALL RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATE OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVER SHEET.

LICENSED PROFESSIONAL CERTIFICATION

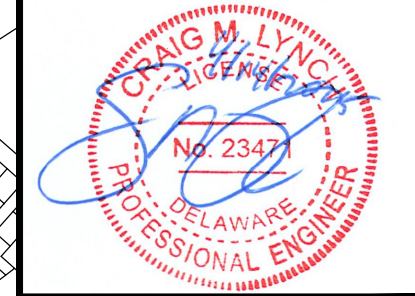
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES TO THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

Craig M. Lynch  
CRAIG M. LYNCH, P.E.  
No. 23471  
4/14/2025  
DATE

Carlton Bowers  
CARLTON E. BOWERS JR.  
613 N. WASHINGTON ST.  
WILMINGTON, DE 19801  
P: (302) 388-7144  
4/24/25



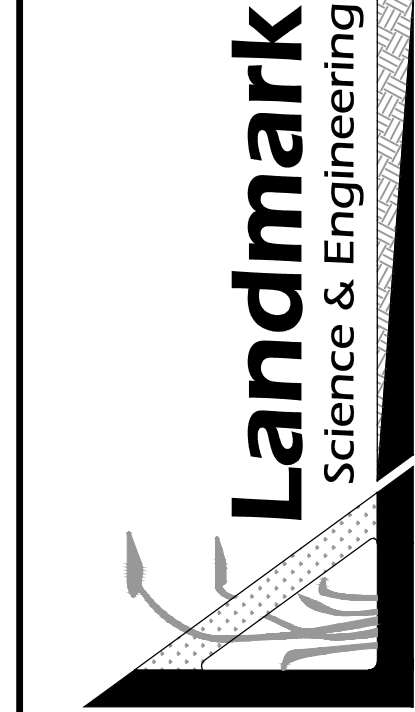
Know what's below.  
Call before you dig.  
MISS UTILITY PHONE 1-800-282-8555  
PROTECT YOURSELF, GIVE THREE  
WORKING DAYS NOTICE



COVER SHEET AND GENERAL NOTES  
FOR  
WALNUT STREET EXTENSION  
APPOQUINIMINK HUNDRED - NEW CASTLE COUNTY, DELAWARE  
OWNER:  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
613 N. WASHINGTON ST.  
WILMINGTON, DE 19801  
(302) 388-7144

200 CONTINENTAL DRIVE  
NEWARK, DE 19713  
PHONE (302) 333-9377  
FAX (302) 333-9477  
WWW.LANDMARK-SE.COM  
INFO @ LANDMARK-SE.COM

P.O. BOX 298  
NEWARK, DE 19713  
PHONE (410) 993-1143  
FAX (302) 323-9461  
INFO@LANDMARK-SE.COM



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THIS DRAWING DOES NOT INCLUDE ANY CHANGES OR REVISIONS TO THE ORIGINAL DESIGN OR CONSTRUCTION SAFETY.

ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE DELAWARE DEPARTMENT OF TRANSPORTATION.

FILE NAME: COVER ROAD.dwg

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DRAWN BY: MKB SCALE: 1"=50'

DESIGN BY: MKB DATE: 02/07/25

CHECK BY: TCW SHEET: CE-01 OF 5

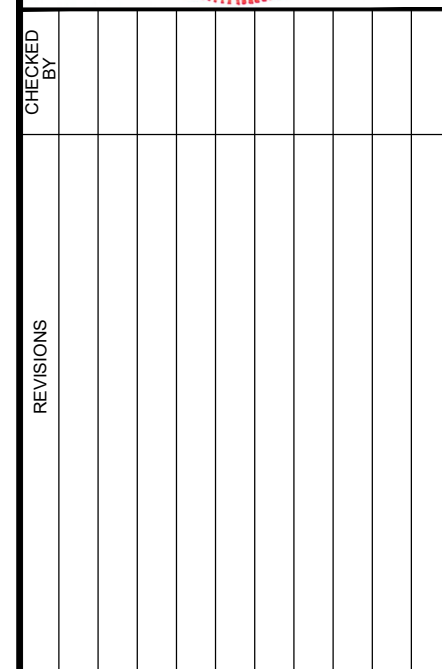
GRAPHIC SCALE

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COMMISSION: C2003-1

CE-01





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**Landmark**  
Science & Engineering

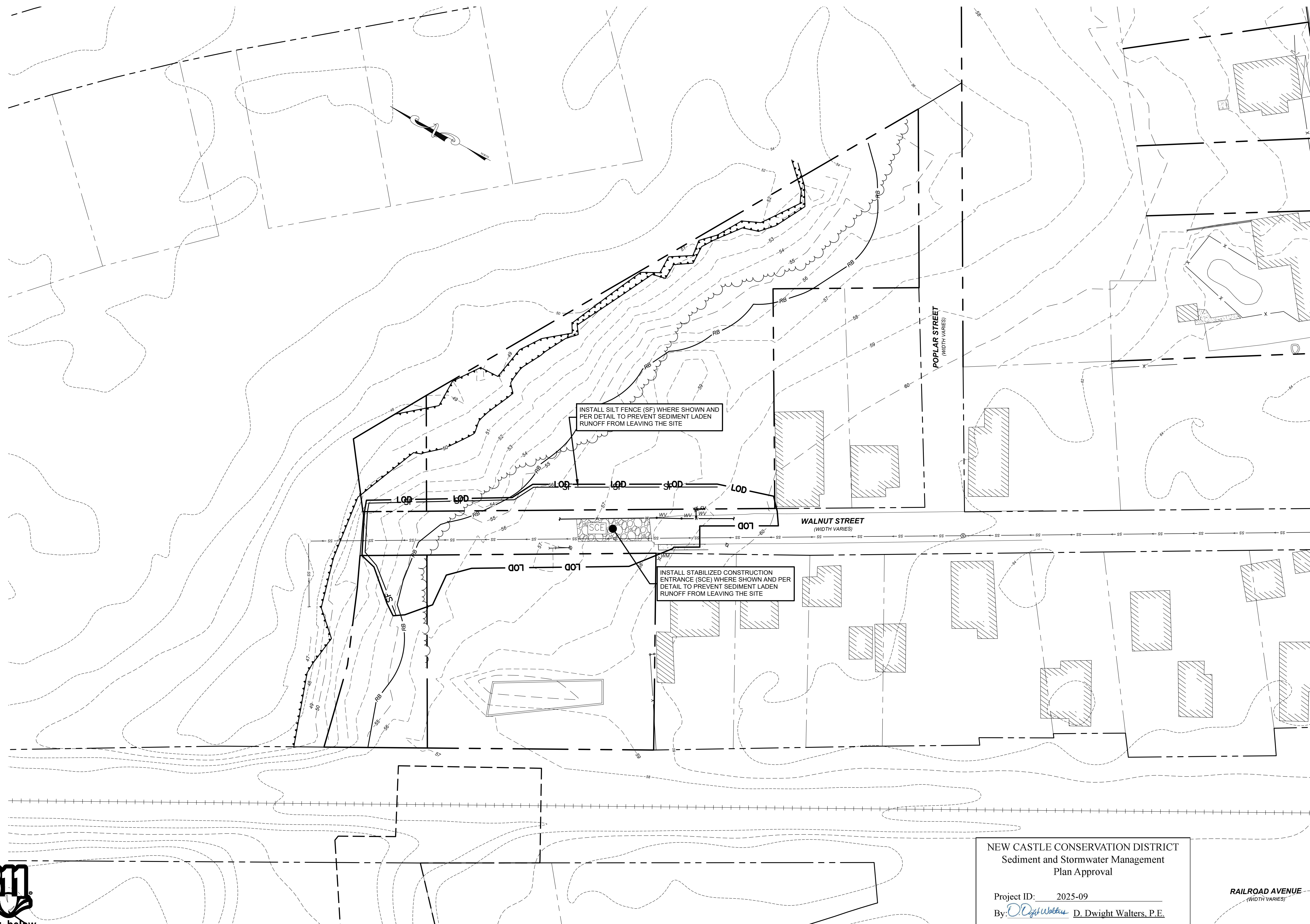
DRAWN BY: MKB DESIGN BY: JTB CHECK BY: TOW DATE: 02/07/25 SHEET: CE-02 OF 05	1"=30' 00720725 02/07/25 00720725	SCALE: 1"=30' DATE: 02/07/25 SHEET: CE-02 OF 05	THIS DRAWING AND THE DESIGN INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF LAMBERG AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION.	THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OREGON CONSTRUCTION SAFETY AND HEALTH ACT OF 1970 AND THE OREGON CONSTRUCTION SAFETY AND HEALTH REGULATIONS.
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GRAPHIC SCALE

COMMISSION: C2082-1

**CE-02**

FILE NAME: PRECINCT ROAD.dwg



NEW CASTLE CONSERVATION DISTRICT  
Sediment and Stormwater Management  
Plan Approval

Project ID: 2025-09

By: *D. Dwight Walters* D. Dwight Walters, P.E.

Approval Date: 08/20/25

Expiration Date: 08/20/30

**RAILROAD AVENUE**  
(WIDTH VARIES)













P:\C3083\_307 GRAY STREET\C3083-1 RECORD AND SITE PLAN\PLANS\RECORD WALNUT STREET EAST\RECORD PLANNING

#### GENERAL DATA

- TAX PARCEL NUMBER: 25-001.00-049
- SOURCE OF TITLE: 20230630-0042978
- GROSS AREA: 1.020± ACRES  
NET AREA: 0.965± ACRES
- EXISTING ZONING: R1-A (RESIDENTIAL), TOWN OF TOWNSEND  
BULK AREA RESTRICTIONS  
STREET YARD SETBACK: 25'  
SIDE YARD: 10' (25' AGGREGATE)  
REAR YARD: 20'  
LOT AREA: 10,000 S.F. (0.230 AC.)  
BUILDING HEIGHT: 35'
- TOPOGRAPHIC SURVEY:
  - FIELD SURVEY BY LANDMARK SCIENCE & ENGINEERING, INC. IN JANUARY-JUNE 2024.
  - DATUM: VERTICAL - NAVD 88  
HORIZONTAL - BASED ON A BOUNDARY SURVEY PLAN PREPARED BY THE PLSA COMPANY DATED 4/24/2023.  
BENCHMARK: EXISTING SANITARY MANHOLE COVER WITHIN WALNUT STREET  
ELEVATION: 63.23
  - PERIMETER PROPERTY CORNER MARKERS:
    - EXISTING (6)
    - PROPOSED (2)
- EXISTING LOTS: 1 (R1-A RESIDENTIAL)  
PROPOSED LOTS: 2 (R1-A RESIDENTIAL)
- WATER SUPPLY: ARTESIAN WATER COMPANY  
WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE DEPARTMENT OF HEALTH, AND ARTESIAN WATER COMPANY.
- SANITARY SEWER: GRAVITY (NEW CASTLE COUNTY)

- SEWERAGE IS SUBJECT TO THE APPROVAL OF THE NEW CASTLE COUNTY DEPARTMENT OF PUBLIC WORKS, AT THE TIME OF APPROVAL OF THIS PLAN, SEWER CAPACITY EXISTED TO ACCOMMODATE THE ANTICIPATED FLOWS GENERATED BY THIS ADDITIONAL DEVELOPMENT. NEW CASTLE COUNTY HAS COMMITTED TO PROVIDE SEWER IN ACCORDANCE WITH THE SEWER AGREEMENT FOR THIS DEVELOPMENT. THE OWNER OF THIS PROPERTY, HIS SUCCESSOR OR ASSIGNS, SHALL BE RESPONSIBLE FOR EXTENDING SEWER SERVICE TO EACH LOT SHOWN ON OR CREATED BY THIS PLAN.
- ESTIMATED SEWAGE FLOW GENERATION FOR THIS PROJECT, BASED ON TWO (2) SINGLE FAMILY DETACHED HOUSE UNITS IS (300 GPD / 1 UNIT) X 2 UNITS = 600 GPD.
- WETLANDS: THIS SITE WAS EVALUATED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1), AND SUBSEQUENT PUBLIC NOTICES, TO IDENTIFY THE PRESENCE OF JURISDICTIONAL WETLANDS. WETLANDS WERE FOUND BY OTHERS TO EXIST ON THE SITE, TOTALING IN AREA 3,217± S.F. (0.074± AC.) OF LAND, ARE SHOWN ON THIS PLAN.
  - DEBRIS DISPOSAL: NO DEBRIS WILL BE BURIED OR DISPOSED OF ON THIS SITE.
  - WATER RESOURCE PROTECTION AREAS: THE ENTIRE PROPERTY IS LOCATED WITHIN AN AQUIFER RECHARGE WATER RESOURCE PROTECTION AREA (WRPA). THE SITE IS PARTIALLY LOCATED WITHIN A CLASS "A" WRPA WELLHEAD, AS SHOWN ON THIS PLAN. SEE WRPA MAP FOR NEW CASTLE COUNTY, DE, SHEET 3 OF 3, DATED 1987, LAST REVISED MARCH 2022.
  - NO 100-YEAR FLOOD PLAIN EXISTS ON THIS PARCEL, IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP, 10003C0315L PANEL 315 OF 475, DATED JANUARY 22, 2020.
  - CRITICAL NATURAL AREAS: THE STATE INVENTORY OF CRITICAL NATURAL AREAS HAS BEEN EXAMINED AND NONE WERE FOUND TO EXIST ON THE SITE.
  - TREE PRESERVATION: THE DEVELOPER SHALL PRESERVE ALL TREES ON THIS SITE EXCEPT WHERE NECESSARY TO CONSTRUCT BUILDINGS, ACCESSWAYS, AND UTILITIES, AND WHERE SELECTIVE THINNING OF EXISTING VEGETATION IS APPROVED. EXISTING PLANT MATERIALS DESIGNATED TO REMAIN ON THIS PLAN, OR THE LANDSCAPE PLAN, SHALL BE PRESERVED AND PROPERLY PROTECTED DURING CONSTRUCTION. IN THE CASE OF UTILITY RIGHTS-OF-WAY AND EASEMENTS, ANY DISTURBED AREAS SHALL BE REPLANTED SO AS TO ACHIEVE A RECURRENCE OF NATURAL VEGETATIVE COVER.
  - ALL ENTRANCES SHALL CONFORM TO DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL. THE DEVELOPER IS REQUIRED TO OBTAIN AN ENTRANCE PERMIT FROM THE DELDOT CANAL DISTRICT PERMIT OFFICE.
  - LOT 1 AND LOT 2 SHALL HAVE INDIVIDUAL ACCESS TO WALNUT STREET.
  - ALL COMMON FACILITIES INCLUDING, BUT NOT LIMITED TO, PAVED AREAS, SIDEWALK, CURBING, LANDSCAPING, OPEN SPACE, DRAINAGE SHALL BE KEPT IN GOOD REPAIR AND MAINTAINED IN A SAFE AND SANITARY CONDITION IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF TOWNSEND.
  - DRAINAGE, EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT SHALL COMPLY WITH THE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL'S DELAWARE SEDIMENT AND STORMWATER REGULATIONS AND THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK.
  - POSTAL ADDRESSES:  
ADDRESSES ARE AS ASSIGNED BY THE NEW CASTLE COUNTY GIS SERVICES.  
ALL ADDRESSES BELOW ARE FOR TOWNSEND, DE, 19734  
LOT 1 555 WALNUT STREET  
LOT 2 557 WALNUT STREET
  - STREET TREES ARE REQUIRED TO BE PLANTED AT A MINIMUM RATE OF ONE (1) TREE PER FORTY (40) FEET OF RIGHT-OF-WAY (PER SECTION 24.20.070 OF THE TOWNSEND MUNICIPAL CODE (TMC)). PLEASE NOTE THAT SPECIES WILL BE CHOSEN FROM CHAPTER 24, SECTION B.5 OF THE TMC.
  - PARKING PER LOT:  
REQUIRED - 2 (9'x18') PARKING SPACES  
PROVIDED - 2 (9'x18') PARKING SPACES
  - THERE ARE NO KNOWN DEED RESTRICTIONS FOR THIS SITE.
  - NEW CASTLE COUNTY HAS THE RIGHT OF ACCESS TO THE SITE FOR THE PURPOSES OF OPERATING, MAINTAINING AND REPAIRING THE SANITARY SEWER LINES CONTAINED WITHIN THE SEWER EASEMENTS SHOWN ON THIS PLAN.
  - COMPLIANCE WITH THE DELAWARE SEDIMENT AND STORMWATER LAW SHALL BE DEMONSTRATED, PRIOR TO BUILDING PERMIT ISSUANCE, FOR EACH INDIVIDUAL LOT.
  - VARIANCES: A VARIANCE FROM THE PROHIBITION OF STRUCTURES WITHIN THE RIPARIAN BUFFER TO ALLOW 1500± SF OF IMPERVIOUS COVER AND 20± SF OF BUILDING WAS GRANTED ON APRIL 7, 2025.
  - THE LIMIT OF DISTURBANCE (LOD) PER THIS PLAN IS SHOWN FOR INITIAL CONSTRUCTION PURPOSES ONLY AND SHALL NOT EXTEND INTO THE RIPARIAN BUFFER AREA ONCE THE CERTIFICATE OF OCCUPANCY FOR THE DWELLINGS ARE RECEIVED.
  - THE IMPERVIOUS COVERAGE FOR EACH LOT SHALL NOT EXCEED 50% OF THE GROSS LOT AREA PER §24.36.120 A OF THE TMC.
  - LAND DEVELOPMENT DATA:

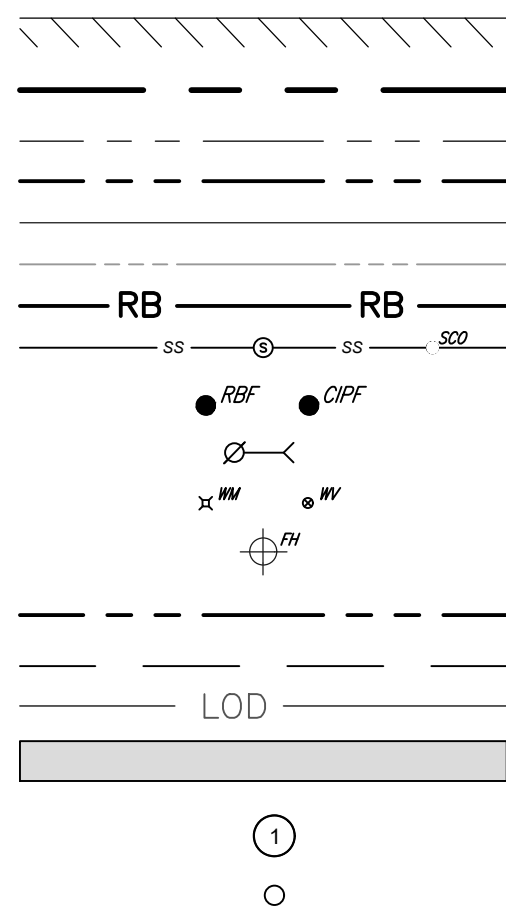
#### LOT 1:

EXISTING BUILDING AREA: (0 SF)	00.00 ACRES = 00.00%
EXISTING PAVED AREA:	00.02 ACRES = 05.00%
EXISTING OPEN AREA:	00.38 ACRES = 95.00%
PROPOSED BUILDING AREA: (1068 SF)	00.02 ACRES = 05.00%
PROPOSED PAVED AREA:	00.01 ACRES = 02.50%
PROPOSED OPEN AREA:	00.37 ACRES = 92.50%
TOTAL	00.40 ACRES = 100.0%

#### LOT 2:

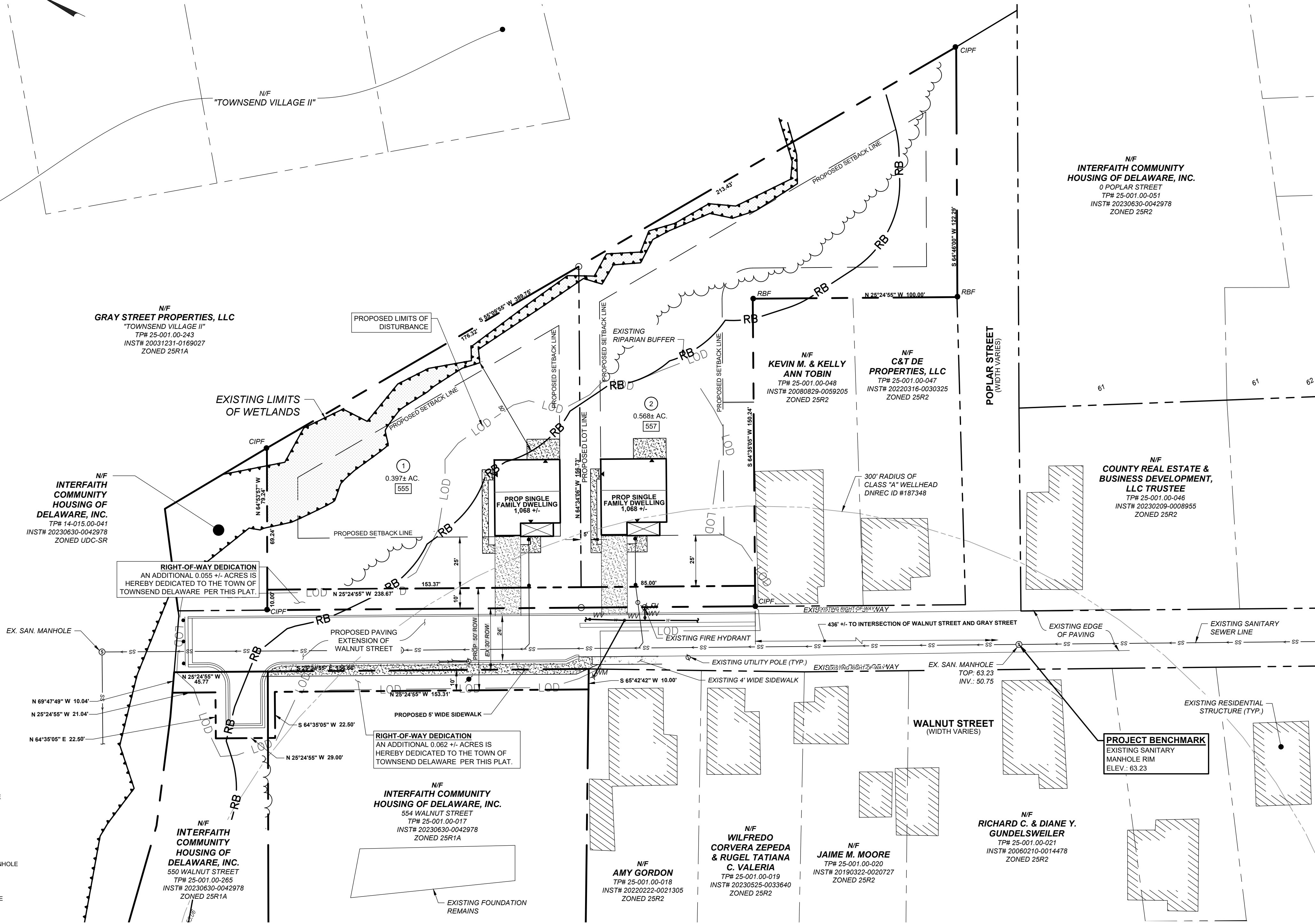
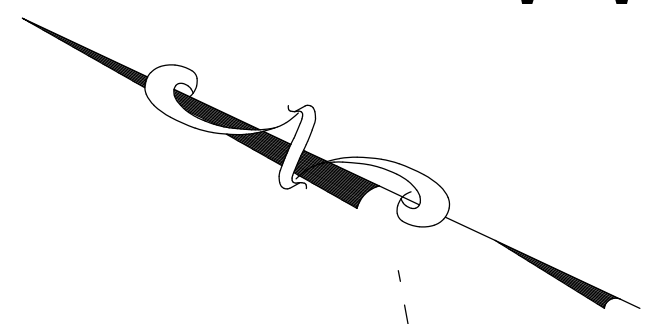
EXISTING BUILDING AREA: (0 SF)	00.00 ACRES = 00.00%
EXISTING PAVED AREA:	00.0007 ACRES = 00.13%
EXISTING OPEN AREA:	00.56 9993 ACRES = 99.87%
PROPOSED BUILDING AREA: (1068 SF)	00.02 ACRES = 03.51%
PROPOSED PAVED AREA:	00.01 ACRES = 01.73%
PROPOSED OPEN AREA:	00.56 ACRES = 94.74%
TOTAL	00.57 ACRES = 100.0%

#### LEGEND:



- EXISTING STRUCTURE  
EXISTING PROPERTY LINE  
EXISTING ADJOINING PARCEL LOT LINE  
EXISTING RIGHT-OF-WAY  
EXISTING PAVEMENT  
EXISTING CLASS A WELLHEAD RADIUS  
EXISTING RIPARIAN BUFFER  
EXISTING SANITARY SEWER AND MANHOLE  
EXISTING REBAR/IRON PIN FOUND  
EXISTING UTILITY POLE WITH GUY WIRE  
EXISTING WATER METER/VALVE  
EXISTING FIRE HYDRANT  
PROPOSED LOT BOUNDARY  
PROPOSED BUILDING SETBACK LINE  
PROPOSED L.O.D.  
PROPOSED PAVEMENT  
PROPOSED LOT NUMBER  
PROPOSED MONUMENT

# APPLICATION NO. XXXX RECORD MINOR SUBDIVISION PLAN FOR INTERFAITH COMMUNITY HOUSING WALNUT STREET EAST TOWN OF TOWNSEND - NEW CASTLE COUNTY DELAWARE



#### CERTIFICATION OF PLAN ACCURACY

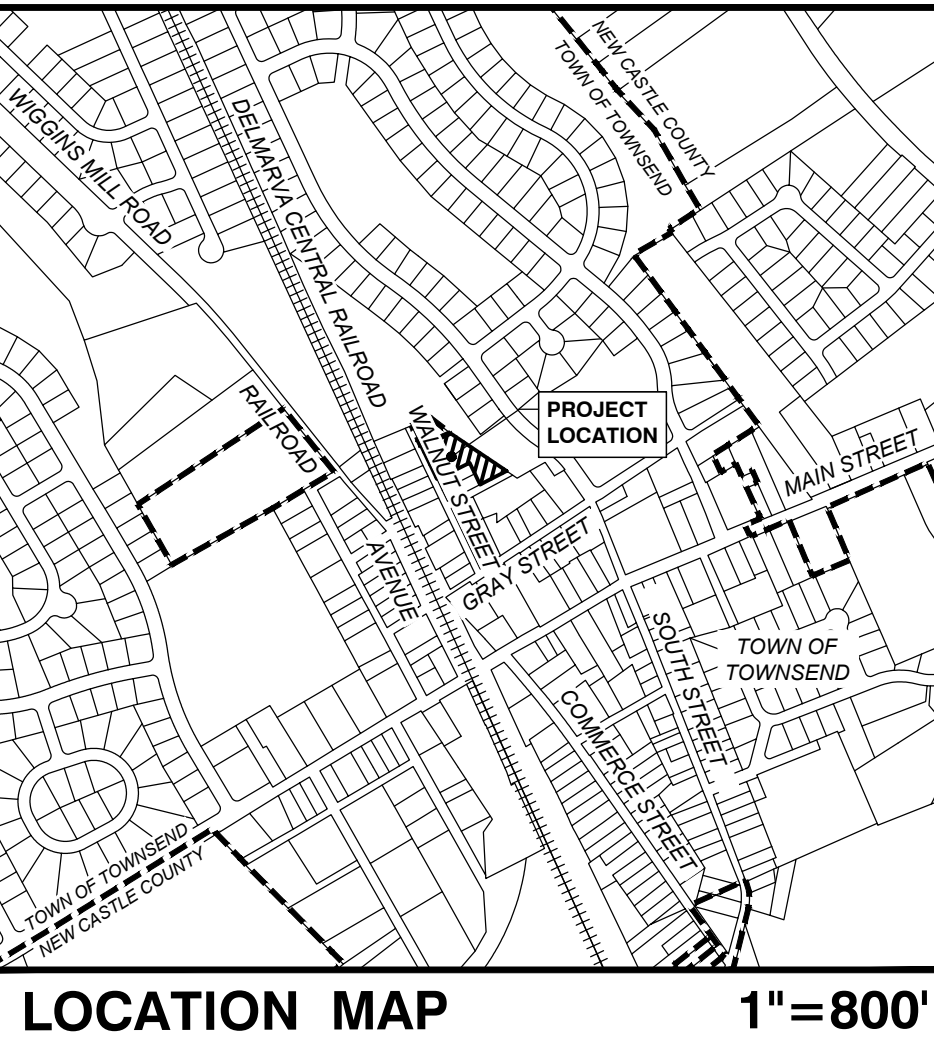
I, CRAIG M. LYNCH, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE TOWNSEND UNIFIED DEVELOPMENT CODE.

CRAIG M. LYNCH  
P.E. #23471  
DATE 9/17/2025

#### CERTIFICATION OF OWNERSHIP

I, CARLTON E. BOWERS, JR., HEREBY CERTIFY THAT INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC. IS THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS PLAN AND THAT THE LAND USE ACTION PROPOSED BY THIS PLAN IS MADE AT MY DIRECTION AND THAT I AUTHORIZE THIS PLAN TO BE RECORDED IN ACCORDANCE WITH THE REGULATIONS OF THE TOWNSEND UNIFIED DEVELOPMENT CODE.

Carlton Bowers  
CARLTON E. BOWERS, JR.  
DATE 9/17/2025



REVISIONS	DATE	DESCRIPTION
1. CONFORMANCE SET	1/9/26	

APPLICATION NO. XXXX(S)  
CONCEPT PLAN  
FOR  
INTERFAITH COMMUNITY HOUSING  
WALNUT STREET EAST  
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE  
OWNER/DEVELOPER  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
WILMINGTON, DE 19801  
(302) 388-7144

APPROVAL BLOCK

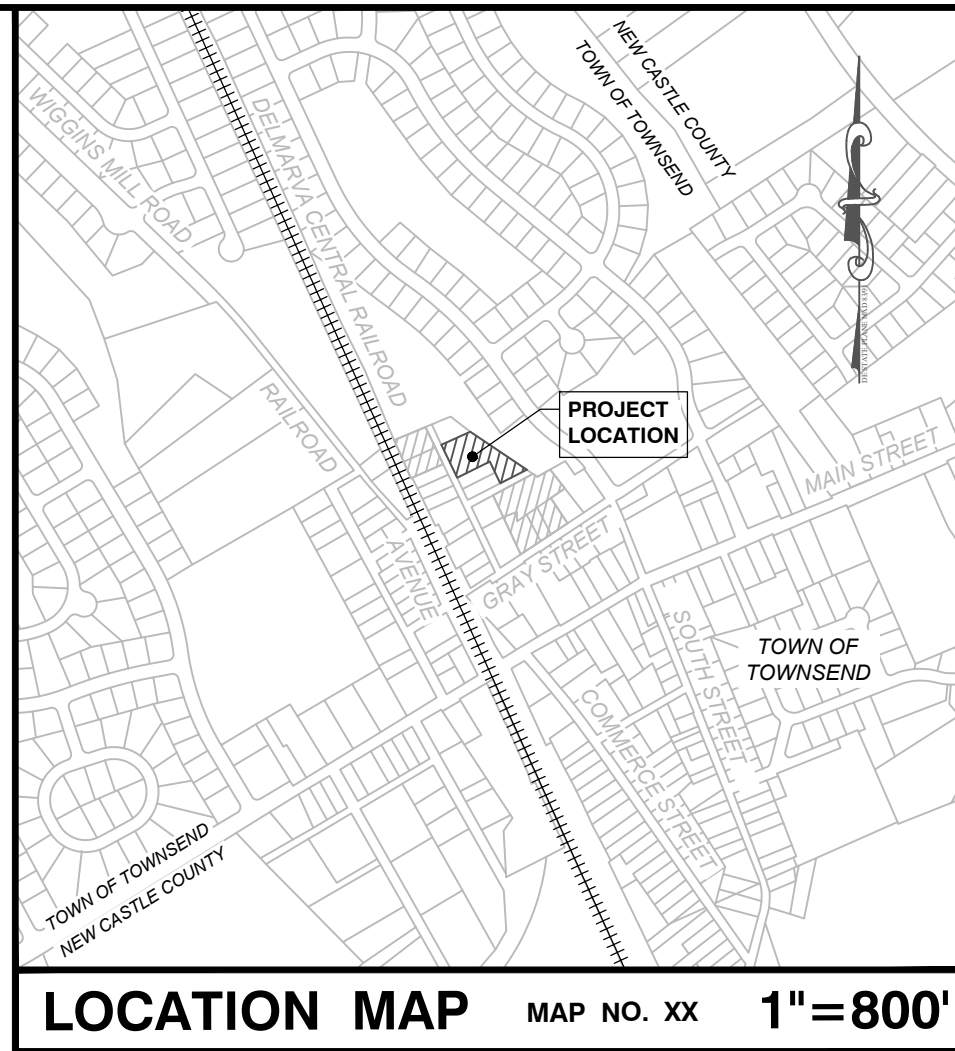
200 CONTINENTAL DRIVE  
NEWARK, DE 19713  
PHONE (800) 333-8877  
WWW.LANDMARK-SE.COM  
INFO@LANDMARK-SE.COM  
P.O. BOX 298  
NEWARK, DE 19713  
PHONE (410) 993-1144  
FAX (800) 333-8461  
INFO@LANDMARK-SE.COM

THIS DRAWING DOES NOT INCLUDE ANY CHANGES OR REVISIONS TO THE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE RULES AND REGULATIONS THEREOF. APPROPRIATE.

DRAWN BY: JCM SCALE: 1"=50'  
DESIGN BY: CML DATE: 01/14/24  
CHECK BY: CML SHEET: CR-01 of 1  
GRAPHIC SCALE  
0 15 30 60  
COMMISSION:  
C3083-1  
CR-01  
FILE NAME: Walnut Street East Record Planning  
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APPLICATION NO. 2024-\_\_\_\_(S)  
INDEX PLAN  
FOR  
INTERFAITH COMMUNITY HOUSING  
WALNUT STREET EAST  
TOWN OF TOWNSEND HUNDRED - NEW CASTLE COUNTY  
DELAWARE




REVISIONS	CHECKED BY	DATE
1. CONFORMANCE SET		1/9/25

APPLICATION NO. 2024-\_\_\_\_(S)  
INDEX PLAN  
FOR  
INTERFAITH COMMUNITY HOUSING  
WALNUT STREET EAST  
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE  
OWNER/DEVELOPER  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
1000 N. MARKET STREET  
WILMINGTON, DE 19801  
(302) 388-1144

DEPARTMENT OF LAND USE APPROVAL BLOCK	
--	--

200 CONTINENTAL DRIVE  
SUITE 400  
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PHONE (302) 323-9377  
FAX (302) 323-9461  
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# Landmark

Science & Engineering

DRAWN BY: CML CHECKED BY: CML DESIGN BY: CML DATE: 12/20/24 SHEET: 1 OF 6	SCALE: AS SHOWN DATE: 12/20/24 SHEET: 1 OF 6	THIS DRAWING AND THE DESIGN PROPERTY OF LANDMARK CONSTRUCTION, INC. IT SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT WRITTEN PERMISSION.
		THIS DRAWING DOES NOT INCLUDE THE NECESSARY DETAILS FOR CONSTRUCTION SAFETY
GRAPHIC SCALE 0 15 30 60		ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS AND REGULATIONS THEBRO APPURTENANCE
<b>CC-01</b>		OCCUPATIONAL SAFETY C0303-1
FILE NAME: C0303 CONST SET - WEAST.dwg		

- IT IS THE RESPONSIBILITY OF THE OWNER, OR HIS CONTRACTOR, TO VERIFY AND ALLOW FOR THE LOCATION AND DEPTH OF THE UNDERGROUND UTILITIES WITHIN THE WORK AREA SHOWN ON THIS PLAN. THE CONTRACTOR SHALL NOT BEGIN ANY EXCAVATION OR OTHER CONSTRUCTION AROUND OR IMMEDIATELY ADJACENT TO EXISTING UTILITIES WITHOUT NOTIFYING THE UTILITY OWNER(S) AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF THE START OF EXCAVATION OR CONSTRUCTION. TEST PITS FOR UTILITY LOCATIONS MAY OR MAY NOT BE REQUIRED.

PRIOR TO ANY CONSTRUCTION, IT IS RECOMMENDED THE CONTRACTOR EXCAVATE IN THE AREA OF ANY POTENTIAL UTILITY CROSSING TO VERIFY THAT THE UTILITY WILL NOT INTERFERE WITH CONSTRUCTION. IF, AFTER UNCOVERING THE UTILITY, THERE IS ANY QUESTION CONCERNING A POSSIBLE CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE, ANY DAMAGE DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT HIS EXPENSE.

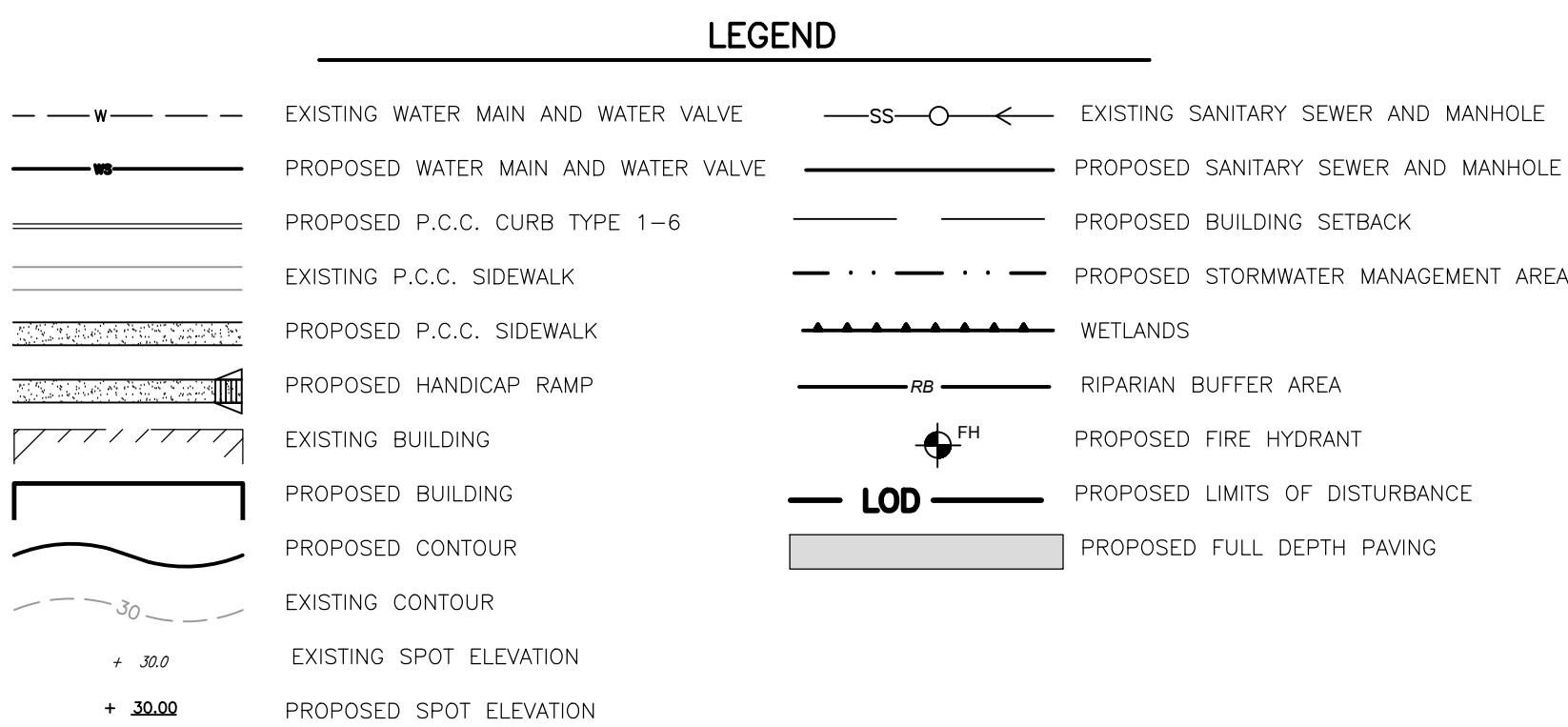
- A. ALL CORRUGATED PLASTIC DRAINAGE PIPE SHALL BE HIGH DENSITY CORRUGATED POLYETHYLENE HAVING A MANNING'S (N) VALUE OF 0.012 (HDPE, N-12) AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. ALL CORRUGATED PLASTIC PIPE SHALL MEET H-20 LOADING SPECIFICATIONS. ALL PIPE LENGTHS INCLUDE FLARED END SECTION (FES) WHEN APPLICABLE.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THERE IS SUFFICIENT COVER ON ALL PIPING DURING CONSTRUCTION TO PREVENT FAILURE OF PIPES.

- PAINT STRIPING AND GRAPHICS FOR LONGITUDINAL STRIPING SHALL BE EPOXY RESIN PAINT. LATERAL STRIPING/ SHAPES SHALL BE ALKYD THERMOPLASTIC TAPE/SYMBOL.

- ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MARKED WITH 6-INCH WIDE (MIN.) METALLIC MARKING TAPE OF APPROPRIATE COLOR AND MESSAGE TO CONFORM TO UTILITY BURIED BENEATH IT AND SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

- 4" PVC PIPE SLEEVES TO BE PROVIDED FOR ALL SIGNS IN SIDEWALK AREAS.



I, CRAIG M. LYNCH, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY ACCEPTED SURVEYING STANDARDS AND PRACTICES AND BY THE TOWN OF TOWNSEND UNIFIED DEVELOPMENT CODE.

17/12/2025  
No. 23471  
SIGNATURE  
PROFESSIONAL ENGINEER

I, CARLTON E. BOWERS JR., of INTERFAITH COMMUNITY HOUSING OF DELAWARE INC. HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY WHICH IS SUBJECT OF THIS PLAN AND THAT THE LAND USE ACTION PROPOSED BY THIS PLAN IS MADE AT MY DIRECTION AND THAT I AUTHORIZE THIS PLAN TO BE RECORDED IN ACCORDANCE WITH THE REGULATIONS OF THE TOWN OF TOWNSEND UNIFIED DEVELOPMENT CODE.

*Carlton Bowers*  
CARLTON E. BOWERS JR.

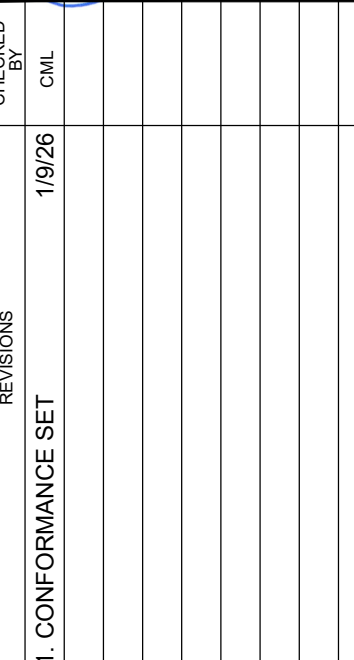


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**CC-01**





APPLICATION NO. 2024-\_\_\_\_(S)  
EXISTING CONDITIONS AND DEMOLITION PLAN  
FOR  
INTERFAITH COMMUNITY HOUSING  
WALNUT STREET EAST  
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE  
OWNER/DEVELOPER  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
613 N. WASHINGTON ST.

200 CONTINENTAL DRIVE  
SUITE 400  
NEWARK, DE 19713  
PHONE (302) 323-9377  
FAX (302) 323-9461  
WWW.LANDMARK-SE.COM  
INFO@LANDMARK-SE.COM


P.O. BOX 299  
PERRYVILLE, MD 21903  
PHONE (410) 939-2144  
FAX (302) 323-9461  
INFO@LANDMARK-SF.COM

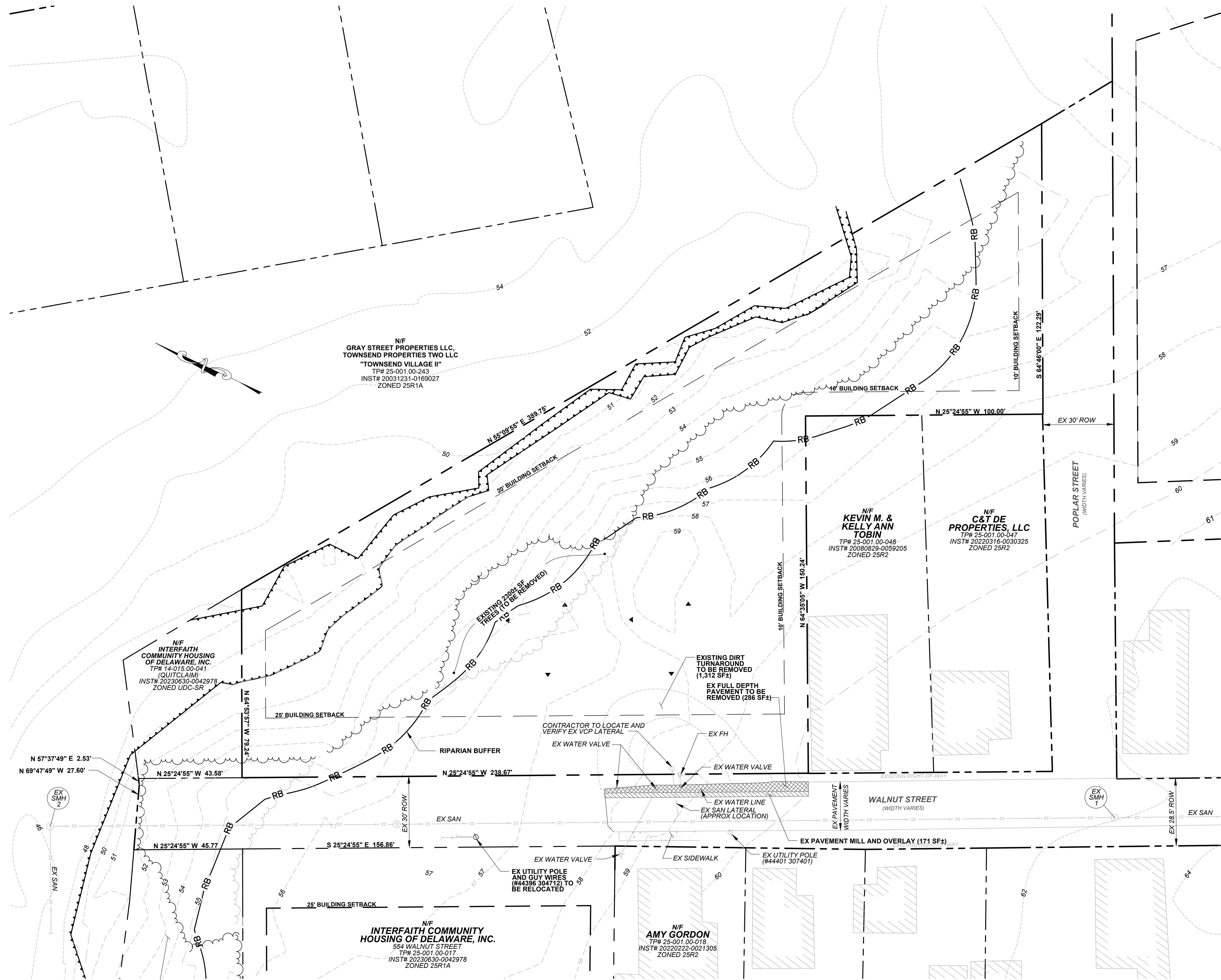


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DESIGN BY: CML		DATE: 12/20/24
CHECK BY: CML		SHEET: 2 OF 6
		
GRAPHIC SCALE		
<h1>CC-02</h1>		COMMISSION: C3083-1



**PLAN**  
SCALE: 1" = 20'



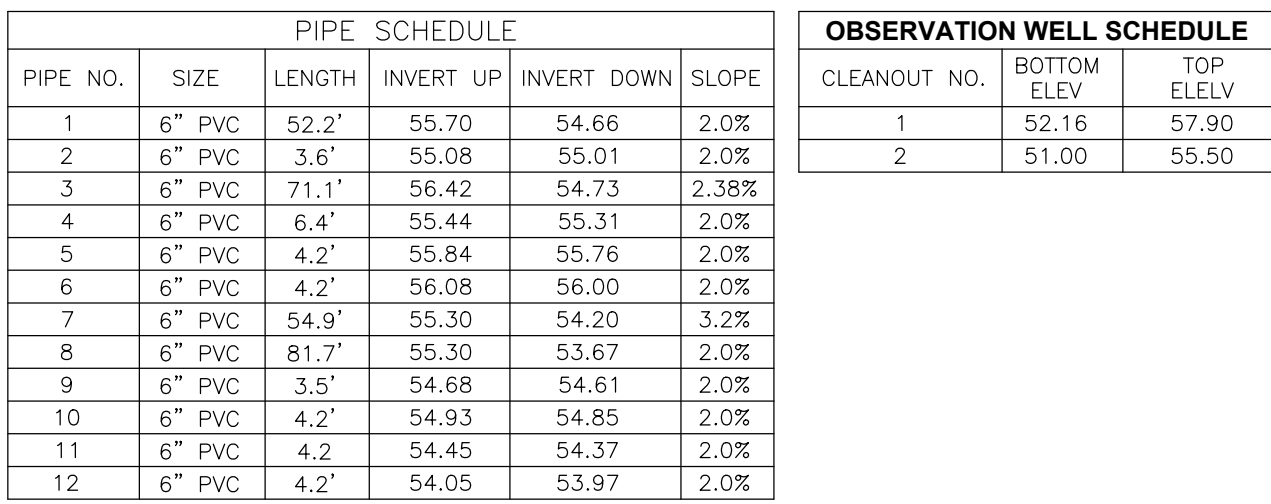
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**N/F**  
**INTERFAITH COMMUNITY**  
**HOUSING OF DELAWARE, INC.**  
550 WALNUT STREET  
TP# 25-001.00-265 (QUITCLAIM)  
INST# 20230630-0042978  
ZONED 25R1A

P:\C3083 307 GRAY STREET\C3083-1 RECORD AND SITE PLAN\PLANS\CNSTC3083 CNST-SET - WEAST.DWG





NOTE: PVC PIPE TO BE SCH. 40 OR SDR 35

[illegible]


APPLICATION NO. 2024-\_\_\_\_(S)  
SITE LAYOUT AND UTILITY PLAN  
FOR  
INTERFAITH COMMUNITY HOUSING  
WALNUT STREET EAST  
TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE  
OWNER/DEVELOPER  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
613 N. WASHINGTON ST.  
WILMINGTON, DE 19801  
TEL: (302) 388-7144

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SUITE 400  
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F 2	DESIGN BY: CML	DATE: 12/20/24
S 3	CHECK BY: CML	SHEET: 3 OF 6
C 4	 GRAPHIC SCALE	
T 5	COMMISSION: C3083-1	
A 6	<b>CC-03</b>	
I 7	FILE NAME: C3083 CNST-SET - WEAST.dwg	

2026 | LANDMARK SCIENCE &amp; ENGINEERING

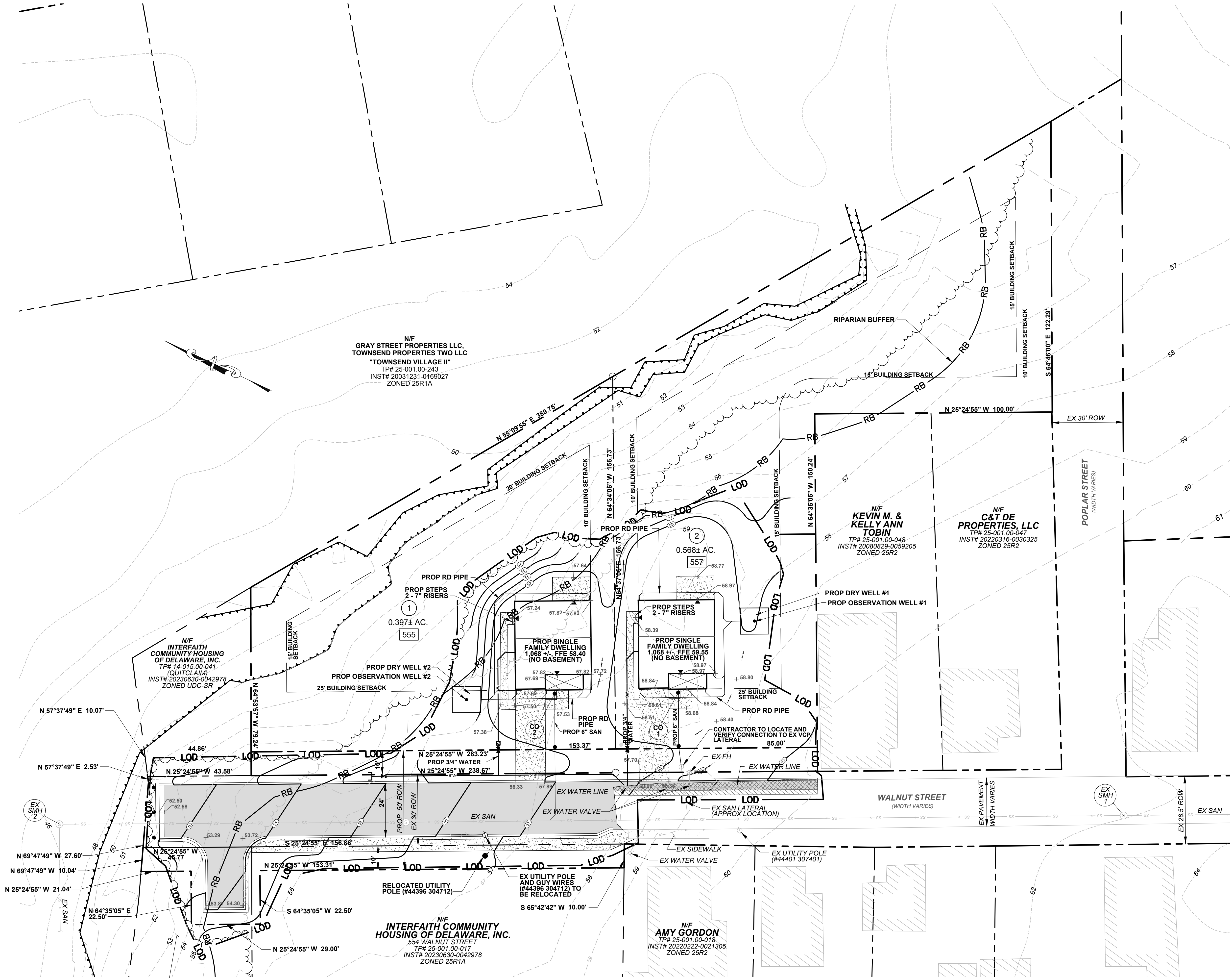


P:\C3083-307 GRAY STREET\CONSTRUCTION\3083 CNST-SET - WEAST.DWG



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N/F  
**INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.**  
550 WALNUT STREET  
TP# 25-001.00-265 (QUITCLAIM)  
INST# 20230630-0042978  
ZONED 25R1A



PLAN  
SCALE: 1" = 20'

CUT	FILL	NET
627 CY	210 CY	417 CY cut

BULK GRADING CUT/FILL  
\*ACTUAL VALUES TO VARY BASED ON FOUNDATION  
SPECIFICATIONS AND CONTRACTOR MEANS AND METHODS

TOTAL LIMIT OF DISTURBANCE = 25,181 SF (0.59 AC)

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DESIGN BY: CML DATE: 12/20/24

CHECK BY: CML SHEET: 4 OF 6

GRAPHIC SCALE  
0 10 20 40

COMMISSION: C3083-1

FILE NAME: C3083 CNST-SET - WEAST.dwg

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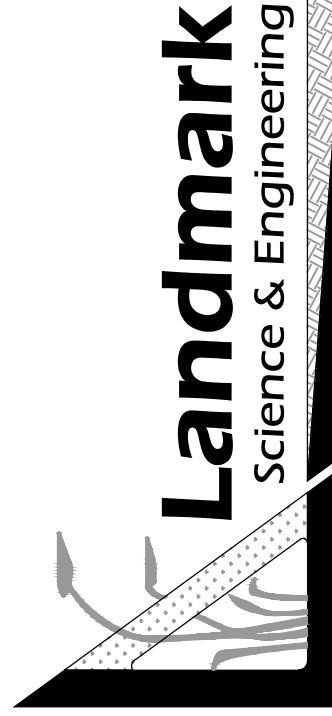
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CONTRACTOR MUST BE DONE  
WITH THE OCCUPANCY SAFETY AND  
THE OCCUPANCY SAFETY AND  
THE RULES AND REGULATIONS  
THAT ARE APPLICABLE.

CC-04

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APPLICATION NO. 2024-\_\_\_\_(S)

FOR

INTERFAITH COMMUNITY HOUSING

WALNUT STREET EAST

TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE

OWNER/DEVELOPER

INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.

WILMINGTON, DE 19801

(302) 388-7144

1. CONFORMANCE SET

19/26

19/26

19/26

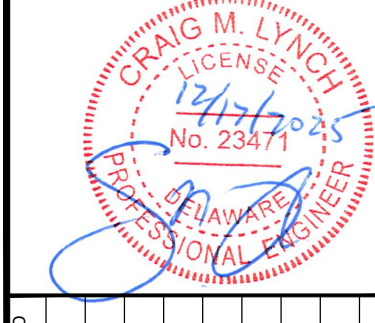
19/26

19/26

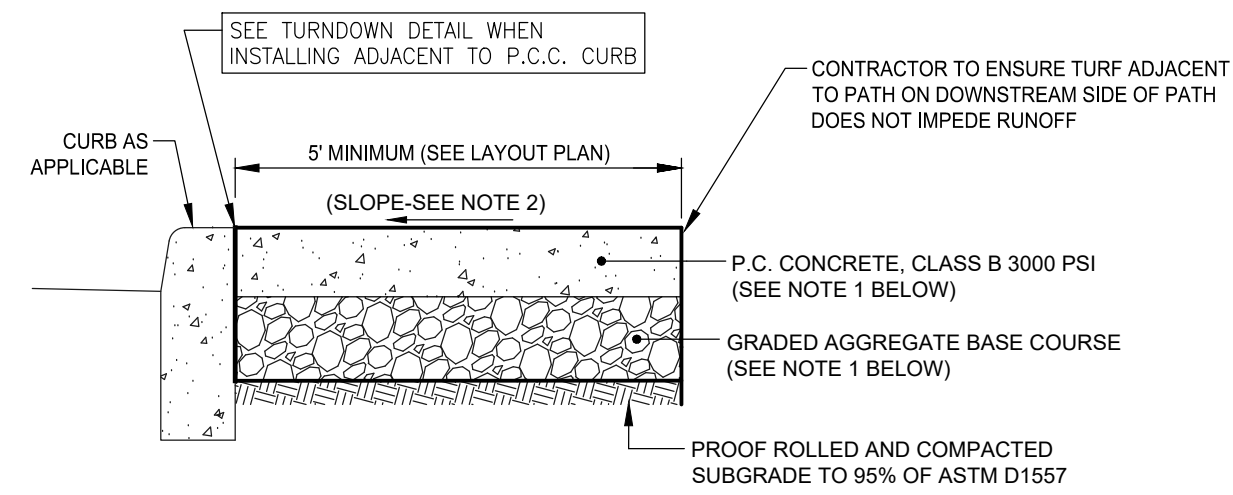
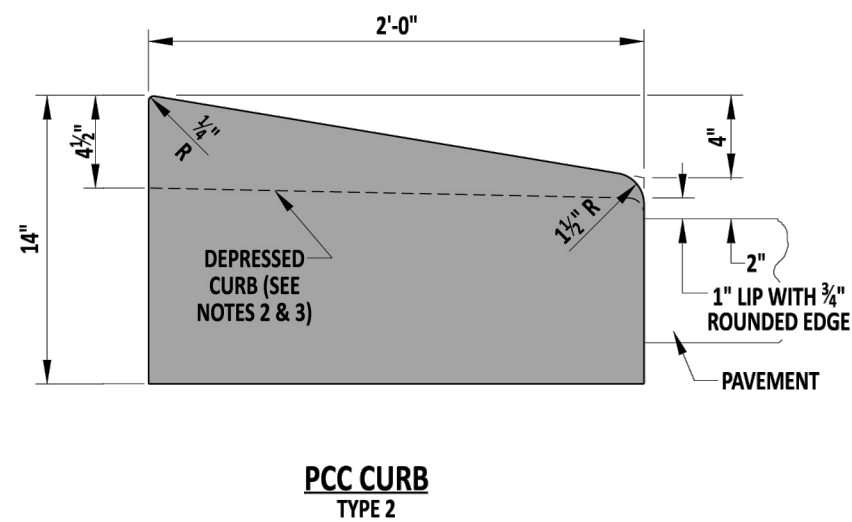
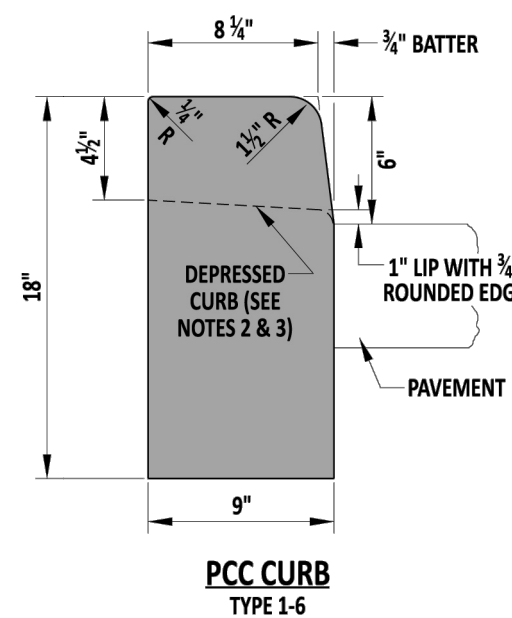
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19/26

19/26





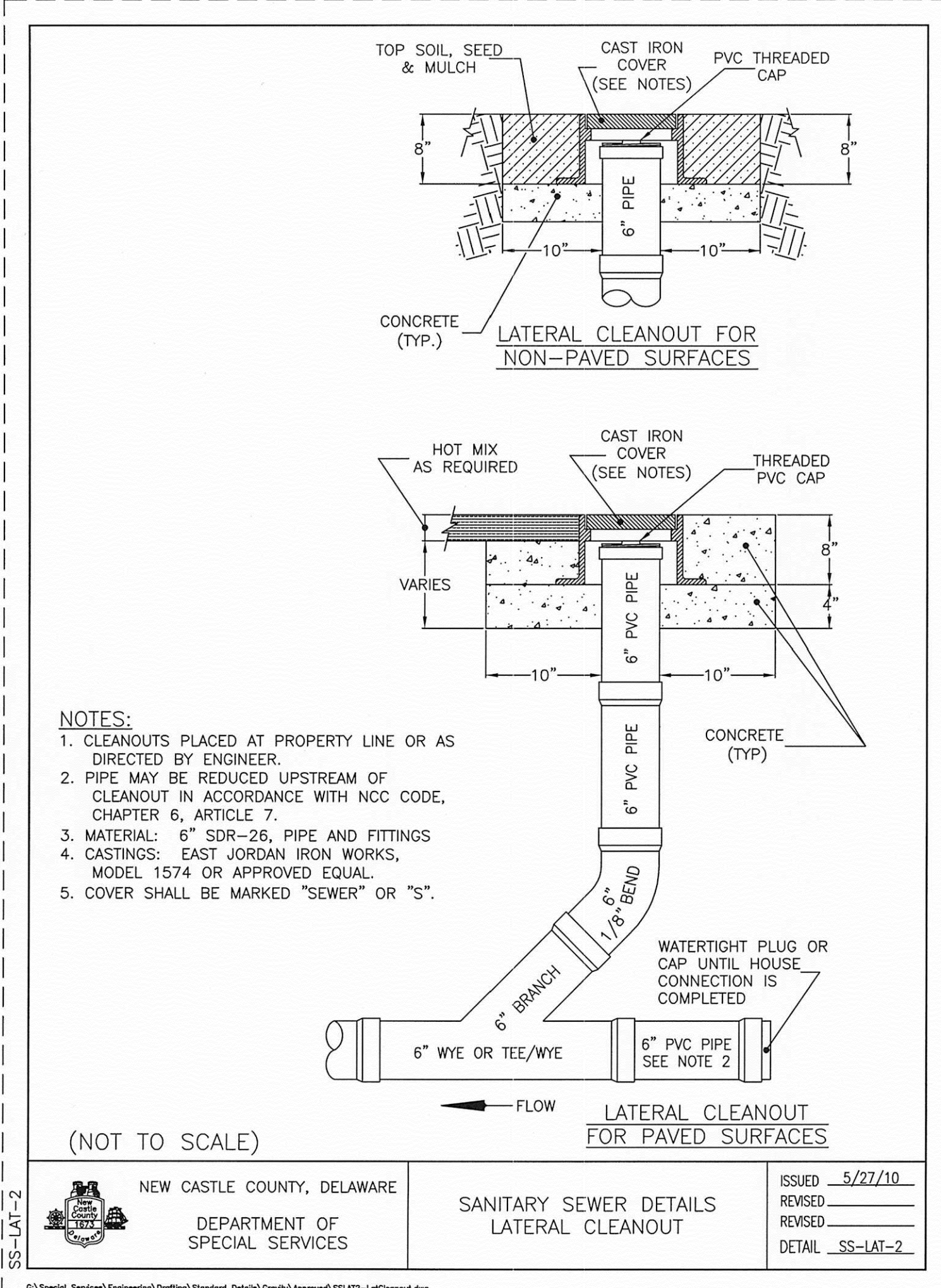
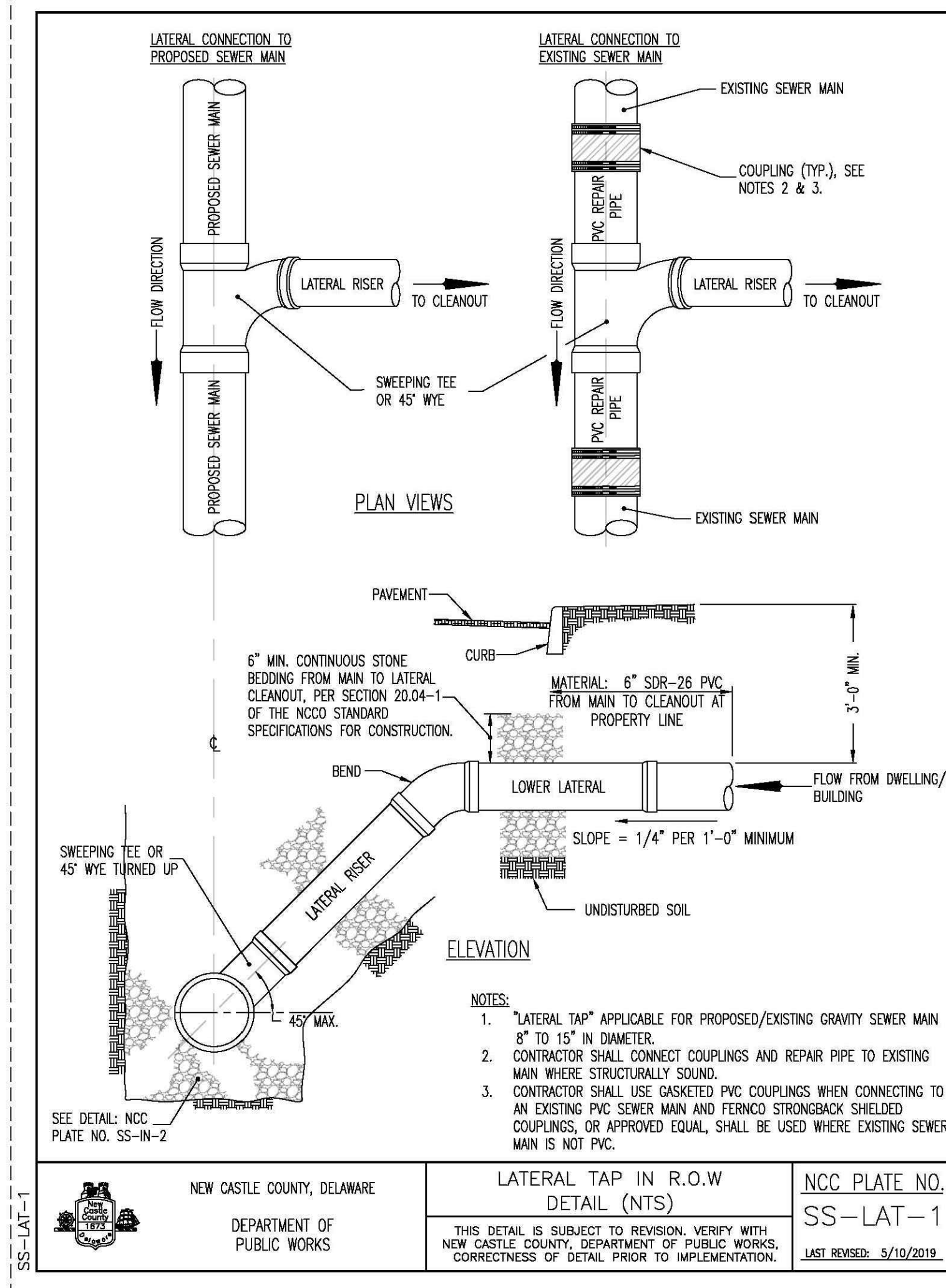
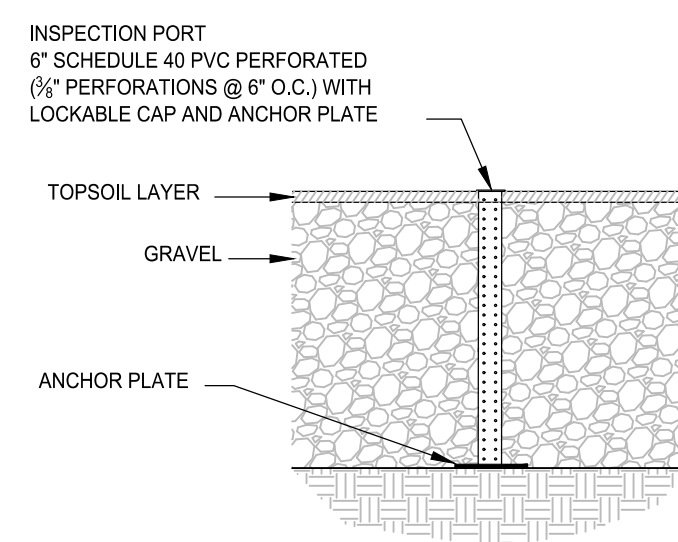
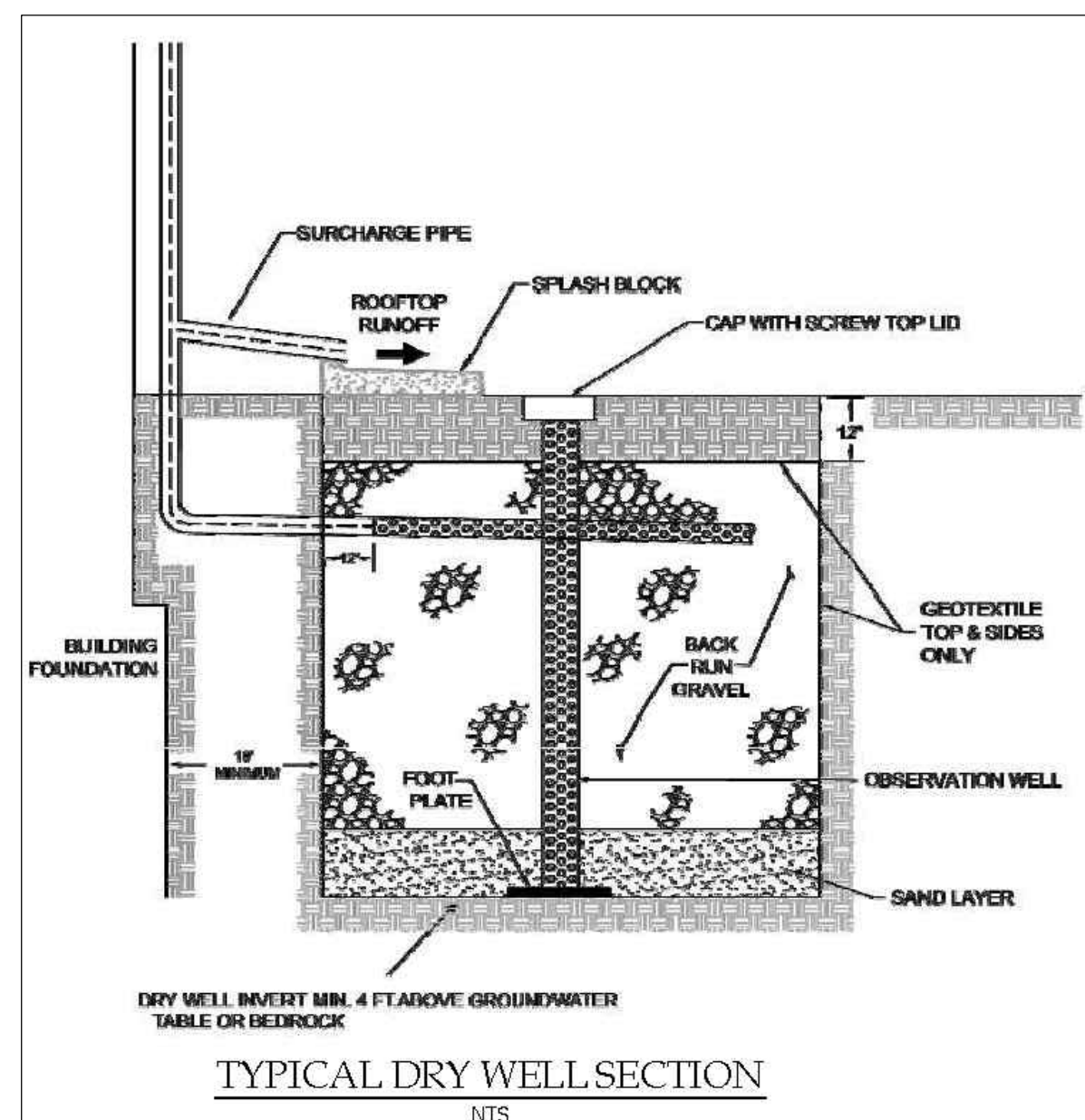
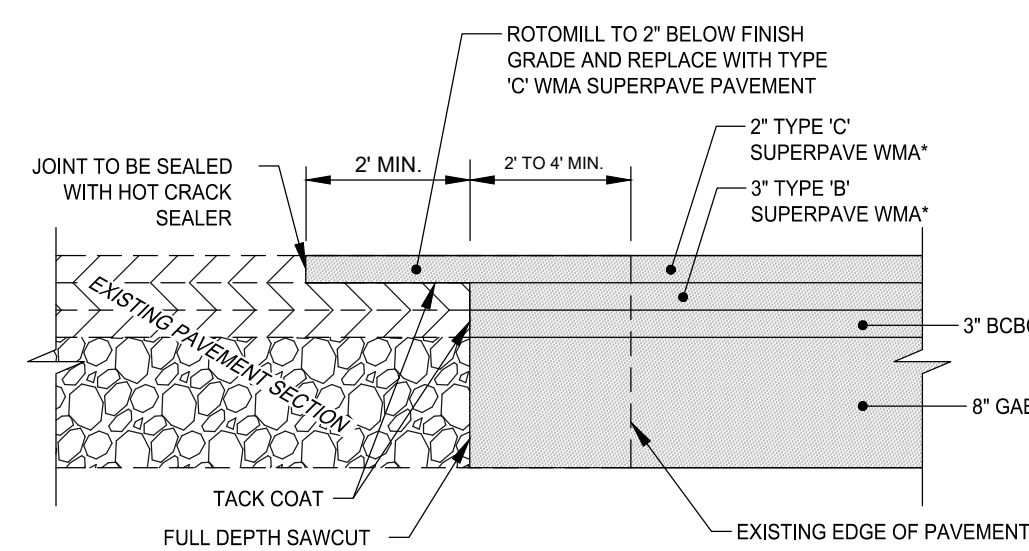
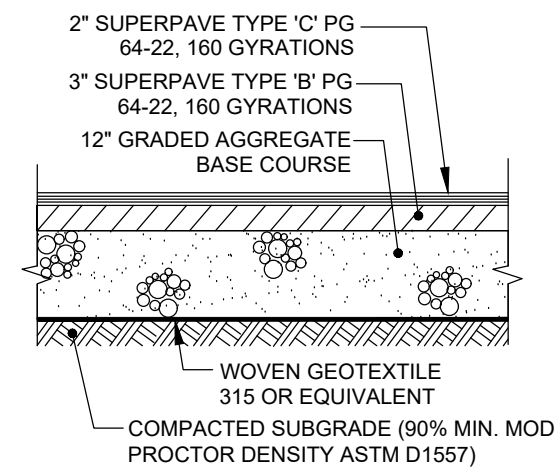
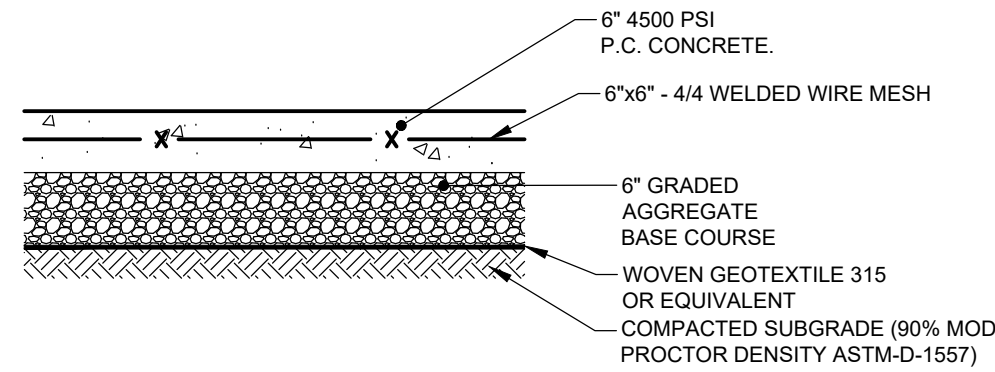
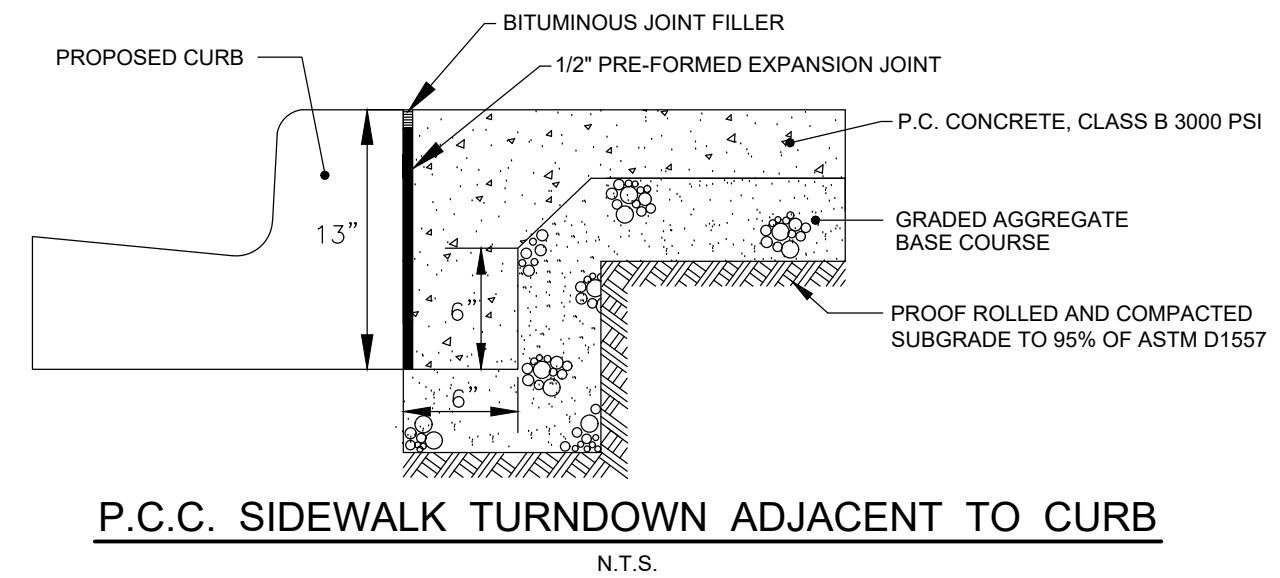


- NOTES:

1. STANDARD SIDEWALK SHALL BE 4" THICK PLACED OVER 4" GABC. SIDEWALK FOR AREAS DESIGNATED TO RECEIVE "HEAVY DUTY" SIDEWALK, AS WELL AS "DEPRESSED AND TRANSITION AREAS SHALL BE 6" THICK PLACED OVER 6" GABC.
2. SIDEWALK TO BE CONSTRUCTED AT GRADE. CROSS-SLOPE OF SIDEWALK SHALL BE 1.5% (1% MIN. AND 2% MAX.) IN ORDER TO ASSURE POSITIVE DRAINAGE.
3. SIDEWALK SHALL BE MARKING INTO RECTANGULAR SLABS 5' LONG BY SCORING, 1/2" MINIMUM, WITH APPROVED EDGING TOOLS. THE SURFACE EDGES OF EACH SLAB SHALL BE ROUNDED TO 1/4" RADIUS.
4. EXPANSION JOINTS SHALL EXTEND FROM THE SURFACE TO THE FOUNDATION AND MUST BE AT RIGHT ANGLES TO THE SIDEWALK SURFACE. A 1/2" EXPANSION JOINT SHALL PLACED ACROSS THE WALK EVERY 20'. EXPANSION MATERIAL SHALL ALSO BE PLACED LONGITUDINALLY ALONG ONE SIDE WHEN SIDEWALK IS PLACED BETWEEN CURBS, PAVEMENTS, OR ANY FIXED STRUCTURES.
5. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH SECTION 705 OF THE STANDARD SPECIFICATIONS MANUAL.

## SIDEWALK DETAIL

(REFER TO LANDSCAPE ARCHITECT PLANS FOR MATERIAL SELECTION)  
N.T.S.











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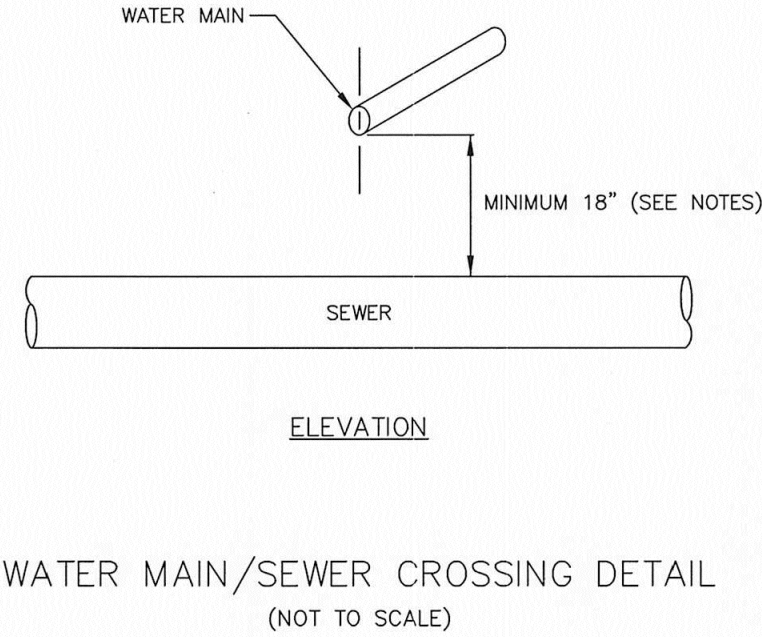
SS-INSC-4



NEW CASTLE COUNTY, DELAWARE  
DEPARTMENT OF  
SPECIAL SERVICES

SANITARY SEWER DETAILS  
WATER MAIN CROSSING

ISSUED 5/27/10  
REVISED \_\_\_\_\_  
REVISED \_\_\_\_\_  
DETAIL SS-INSC-4



NOTES:

IN THE EVENT THAT THE VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER (WITH WATER MAIN ABOVE OR BELOW SEWER) IS 18" OR LESS:

- SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE AND SHALL BE PRESSURE TESTED AT 150 p.s.i. TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- EITHER WATER MAIN OR SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE WHICH EXTENDS 10 FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY NEW CASTLE COUNTY FOR USE IN WATER MAIN CONSTRUCTION.
- THE CROSSING SHALL BE ARRANGED SO THAT THE JOINTS IN THE SEWER PIPE WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.

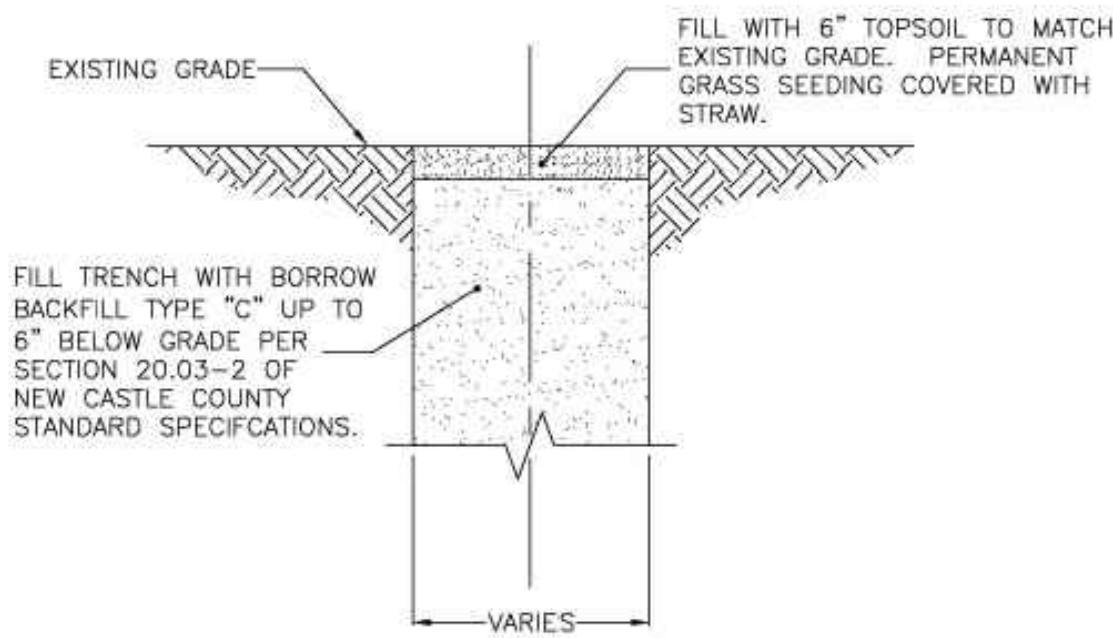
SS-IN-1A



NEW CASTLE COUNTY, DELAWARE  
DEPARTMENT OF  
SPECIAL SERVICES

SANITARY SEWER DETAILS  
RESTORATION & TRENCH  
BACKFILL NON-PAVED AREA

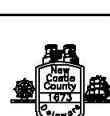
ISSUED 5/27/10  
REVISED 5/2/12  
REVISED \_\_\_\_\_  
DETAIL SS-IN-1A



NOTES:

- ALL BACKFILL AND BEDDING TO BE COMPACTED USING MECHANICAL TAMPER OR VIBRATORY COMPACTOR IN 8" LIFTS.
- TYPICAL TRENCH WIDTH AND PIPE BEDDING, SEE DETAIL: SS-IN-2.

SS-IN-2



NEW CASTLE COUNTY, DELAWARE  
DEPARTMENT OF  
SPECIAL SERVICES

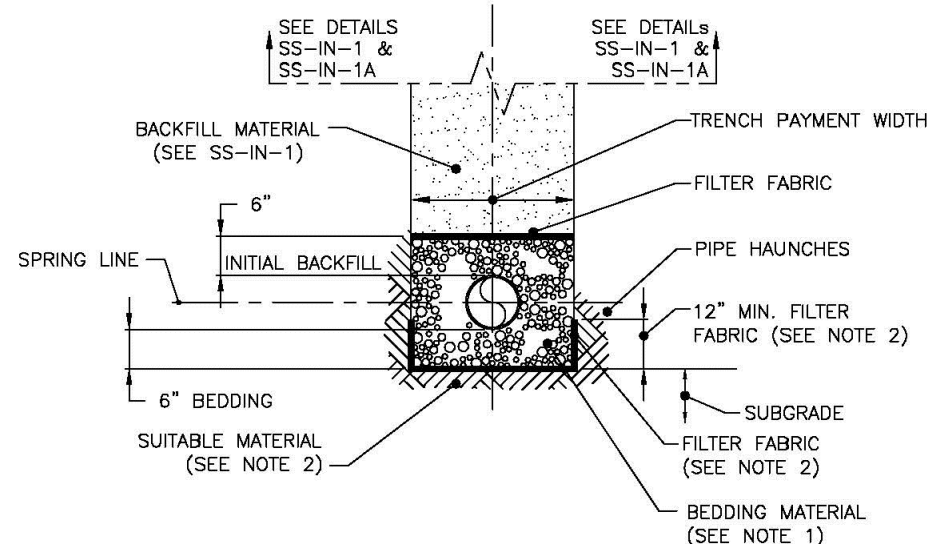
SANITARY SEWER DETAILS  
TRENCH WIDTH & PIPE BEDDING

ISSUED 5/27/10  
REVISED 12/05/11  
REVISED 12/8/15  
DETAIL SS-IN-2

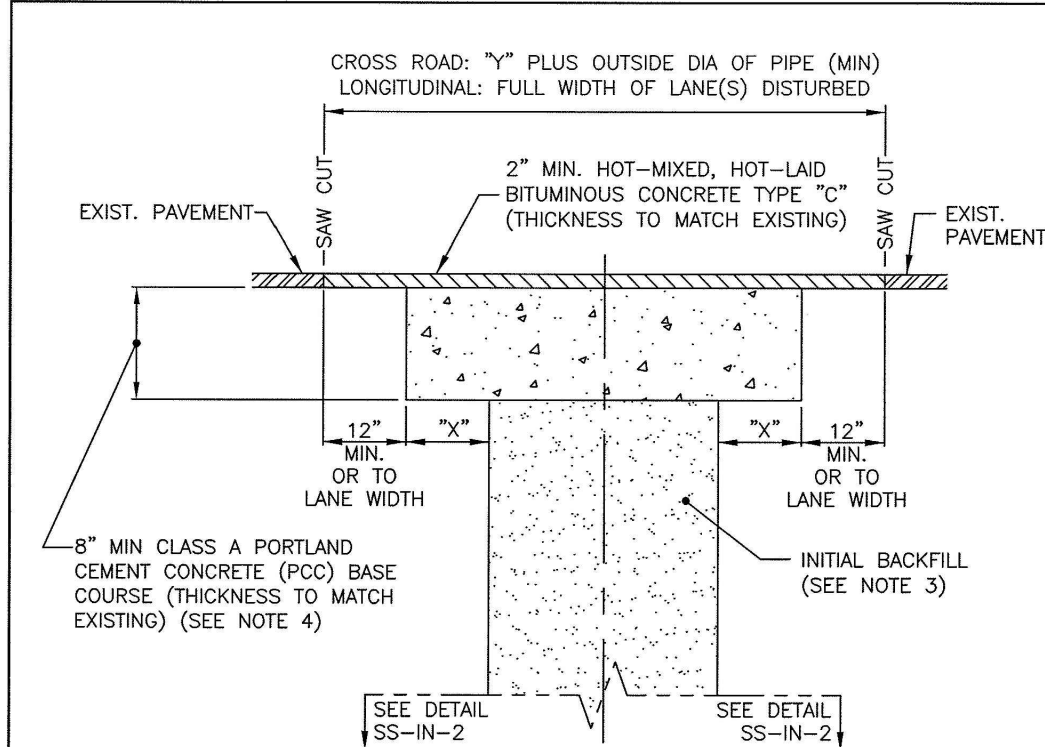
NOTES:

- STONE BEDDING: BEDDING, HAUNCHING AND INITIAL BACKFILL SHALL CONFORM TO SECTION 20.04-1 OF THE NCC STANDARD SPECIFICATIONS.
- BEDDING: PRIOR TO PIPE INSTALLATION, CAREFULLY BRING 6" OF BEDDING MATERIAL TO PROPOSED BOTTOM OF PIPE ALONG THE ENTIRE LENGTH OF PIPE TO BE INSTALLED. IF SUBGRADE IS IN UNSUITABLE MATERIAL, SUITABLE FILL MATERIAL AND MIRAFI 140N OR APPROVED EQUAL FILTER FABRIC WILL BE REQUIRED PRIOR TO PLACEMENT OF BEDDING.
- PIPE HAUNCHES: CAREFULLY WORK, BY HAND, STONE BEDDING FROM THE EDGE OF THE TRENCH UP AND UNDER THE PIPE TO SUPPORT THE HAUNCHES. CONTINUE FILLING, BY HAND, TO THE SPRING LINE OF THE PIPE.
- FOR NEW CASTLE COUNTY CAPITAL IMPROVEMENT PROJECTS, SEE TABLE FOR TRENCH PAYMENT WIDTH.

PIPE DIAMETER	TRENCH PAYMENT WIDTH
6"	36"
8"	36"
10"	36"
12"	36"
15" AND 16"	36"
18"	42"
20" AND 21"	42"
24"	48"
27"	60"
30"	60"



TYPICAL SECTION  
(NOT TO SCALE)



TYPICAL SECTION  
(NOT TO SCALE)

NOTES:

- BACKFILL TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY BY ASTM D698.
- SEE DETAIL SS-IN-2 FOR TRENCH WIDTH AND PIPE BEDDING DETAILS.
- FILL TRENCH WITH BORROW BACKFILL TYPE "C" UP TO 6" BELOW GRADE PER SECTION 20.03-2 OF NEW CASTLE COUNTY STANDARD SPECIFICATIONS.
- FOR HOT-MIX PAVEMENT, 12" MIN. THICKNESS BITUMINOUS CONCRETE. BASE COURSE MAY BE SUBSTITUTED FOR 8" MIN. OF CLASS A PORTLAND CEMENT CONCRETE (PCC).

ROADWAY TABLE	DIMS	HOT-MIX	PCC
BASE COURSE WIDTH	X	12"	24"
WEAR COURSE WIDTH	Y	6'-0"	8'-0"



NEW CASTLE COUNTY, DELAWARE  
DEPARTMENT OF  
SPECIAL SERVICES

SANITARY SEWER DETAILS  
PAVING RESTORATION

ISSUED 5/27/10  
REVISED 12/05/11  
REVISED \_\_\_\_\_  
DETAIL SS-IN-1

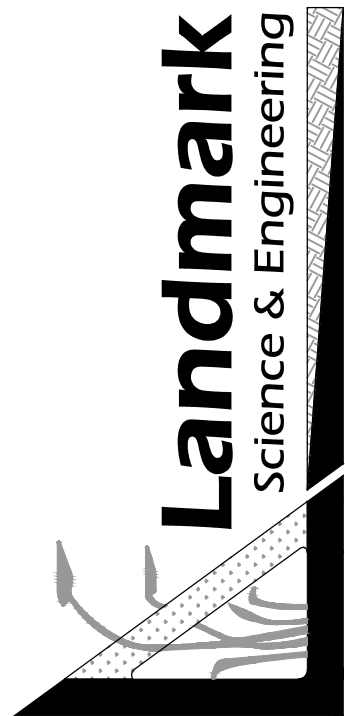
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THIS DRAWING DOES NOT INCLUDE THE DESIGN OF ANY CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE RULES AND REGULATIONS THEREIN APPROPRIATE.

DRAWN BY: KPP  
DESIGN BY: KPP  
CHECK BY: CML

SCALE: 1/2"=1'-0"  
SHEET: CY-02 OF 02  
GRAPHIC SCALE

COMMISSION: C3083-1  
FILE NAME: C3083 SAN-SET - WEAST.dwg



200 CONTINENTAL DRIVE  
NEWARK, DE 19713  
PHONE (302) 323-8477  
FAX (302) 323-8477  
WWW.LANDMARK-SE.COM  
INFO @ LANDMARK-SE.COM

P.O. BOX 299  
NEWARK, DE 19713  
PHONE (410) 993-1144  
FAX (302) 323-8461  
INFO@LANDMARK-SE.COM

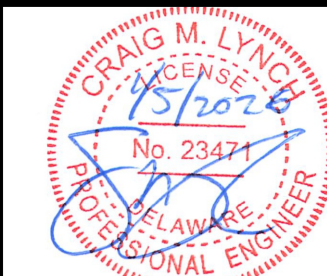
DEPARTMENT OF LAND USE  
APPROVAL BLOCK

APPLICATION NO. 2024-\_\_\_\_(S)  
SANITARY CONNECTION PLAN

FOR  
SANITARY CONNECTION PLAN

TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE  
OWNER/DEVELOPER  
INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC.  
1001 WASHINGTON DE 19801  
(302) 388-7144

CHECKED: CML  
DATE: 1/2/2025  
REVISIONS:  
1. CONFORMANCE SET

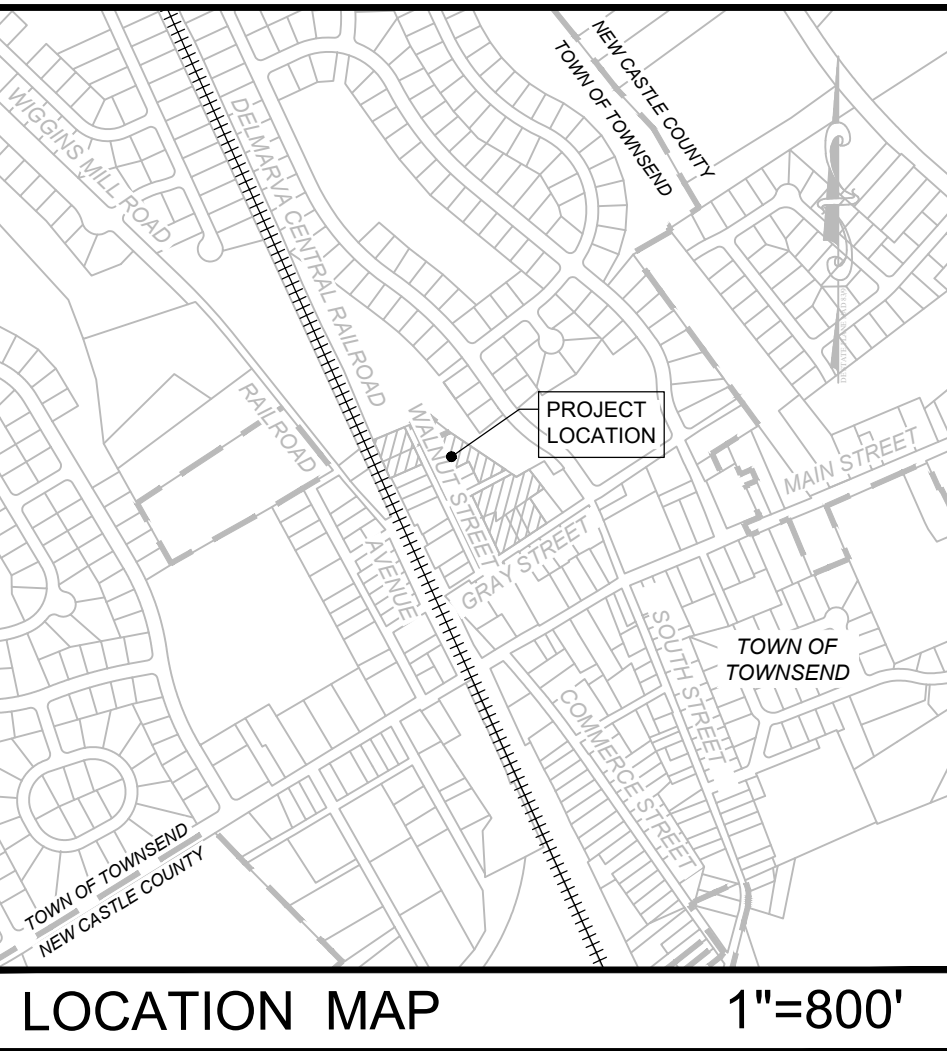
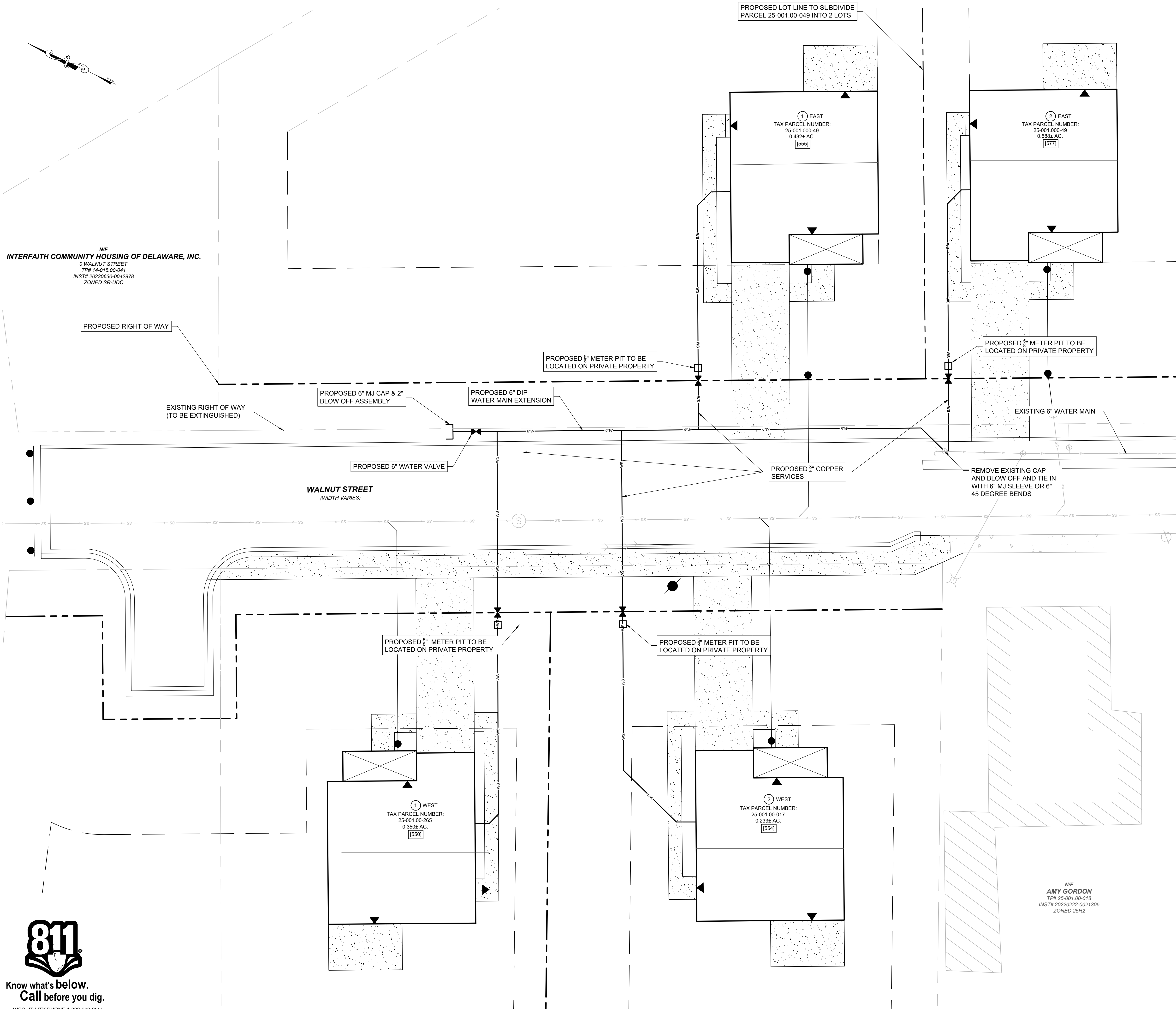






Know what's below.  
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WORKING DAYS NOTICE



#### GENERAL DATA

- TAX PARCEL NUMBER: LOT 1 (EAST) - 25-001.00-049  
LOT 2 (EAST) - 25-001.00-049  
LOT 1 (WEST) - 25-001.00-265  
LOT 2 (WEST) - 25-001.00-017
- SOURCE OF TITLE: 20230630-0042978
- GROSS AREA: 1.020± ACRES  
NET AREA: 0.965± ACRES
- EXISTING ZONING: R1-A (RESIDENTIAL), TOWN OF TOWNSEND  
BULK AREA RESTRICTIONS: 25'  
STREET YARD SETBACK: 10' (25' AGGREGATE)  
SIDE YARD: 20'  
REAR YARD: 20'  
LOT AREA: 10,000 S.F. (0.230 AC.)  
BUILDING HEIGHT: 35'
- TOPOGRAPHIC SURVEY:  
A. FIELD SURVEY BY LANDMARK SCIENCE & ENGINEERING, INC. IN JANUARY-JUNE 2024.  
B. DATUM: VERTICAL - NAVD 88  
HORIZONTAL - BASED ON A BOUNDARY SURVEY PLAN PREPARED BY THE  
PELSA COMPANY DATED 4/24/2023  
BENCHMARK: EXISTING SANITARY MANHOLE COVER WITHIN WALNUT STREET  
ELEVATION: 83.23  
C. PERIMETER PROPERTY CORNER MARKERS:  
○ EXISTING (6)  
□ PROPOSED (2)
- EXISTING LOTS: 1 (R1-A RESIDENTIAL)  
PROPOSED LOTS: 2 (R1-A RESIDENTIAL)
- WATER SUPPLY: ARTESIAN WATER COMPANY, INC.  
WATER SUPPLY IS SUBJECT TO THE APPROVAL OF THE DELAWARE STATE DEPARTMENT OF  
NATURAL RESOURCES AND ENVIRONMENTAL CONTROL, THE DELAWARE DEPARTMENT OF  
HEALTH, AND ARTESIAN WATER COMPANY.

#### LEGEND

- 12" — 12" — EXISTING WATER MAIN AND WATER VALVE
- 8" W — PROPOSED WATER MAIN AND WATER VALVE
- — — EXISTING VERTICAL P.C.C. CURB
- — — PROPOSED P.C.C. CURB TYPE 1-6
- — — EXISTING P.C.C. SIDEWALK
- — — PROPOSED P.C.C. SIDEWALK
- — — EXISTING BUILDING
- — — PROPOSED BUILDING
- SS — ○ — EXISTING SANITARY SEWER AND MANHOLE
- — — PROPOSED SANITARY LATERAL

N/F  
AMY GORDON  
TP# 25-001.00-018  
INST# 20220222-0021305  
ZONED 25R2

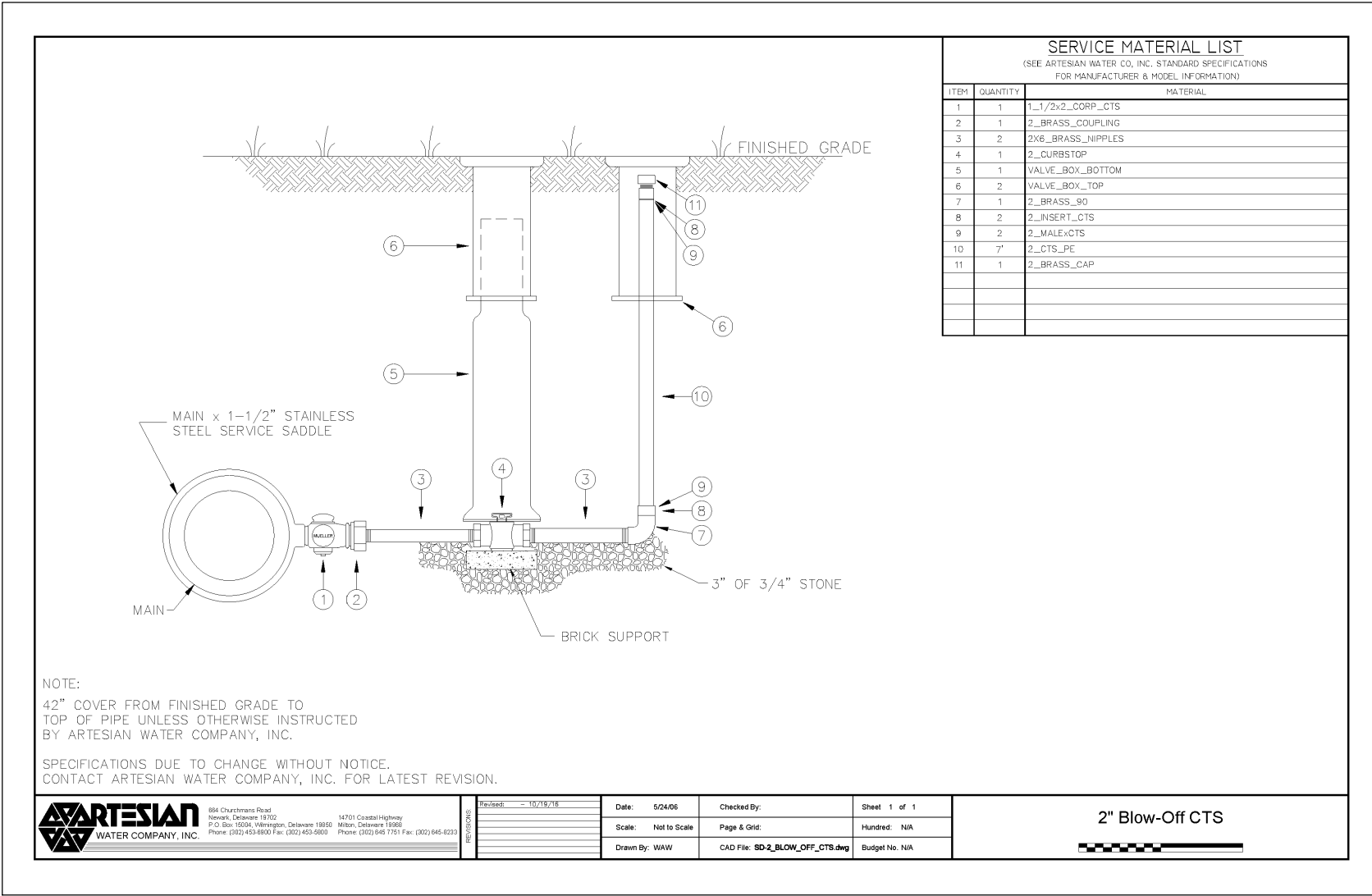
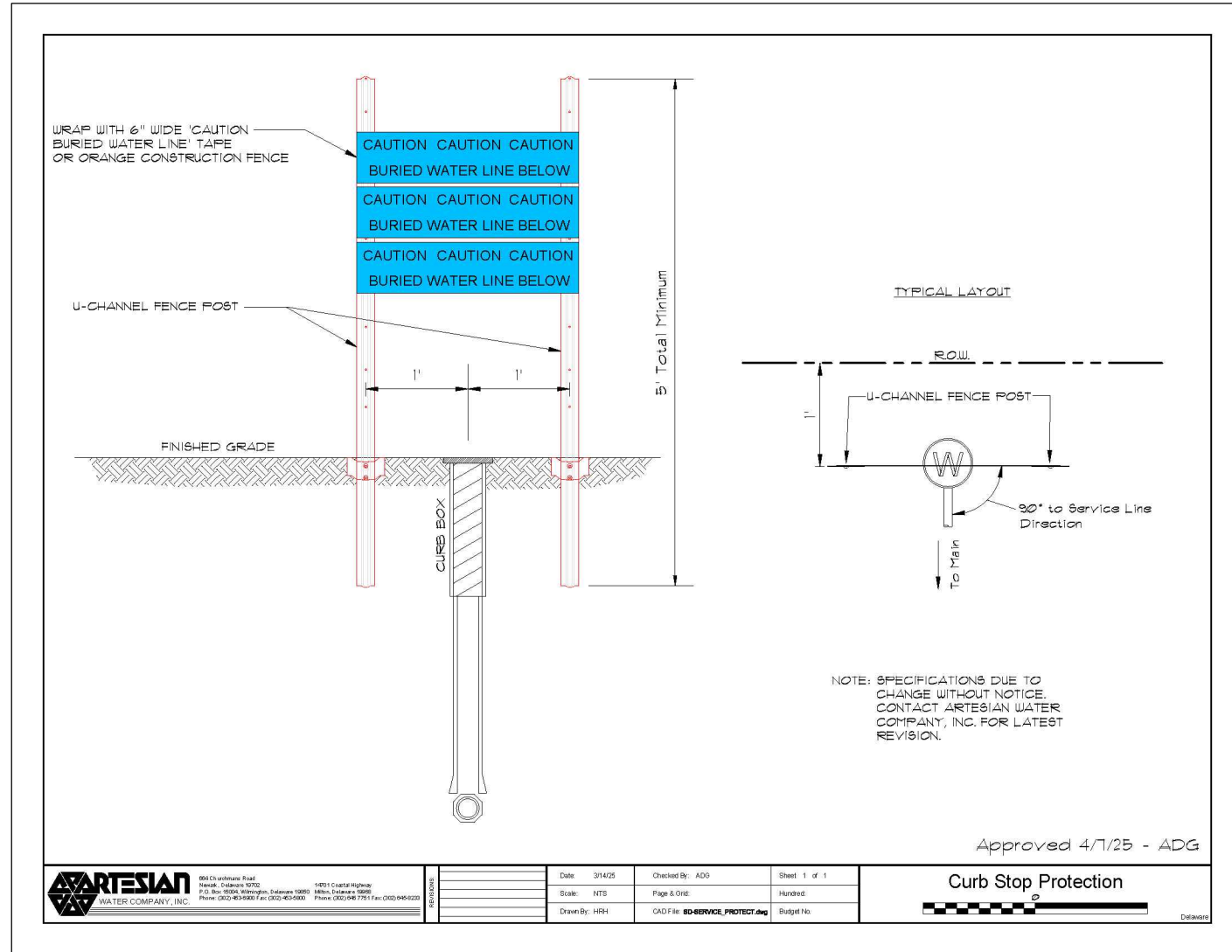
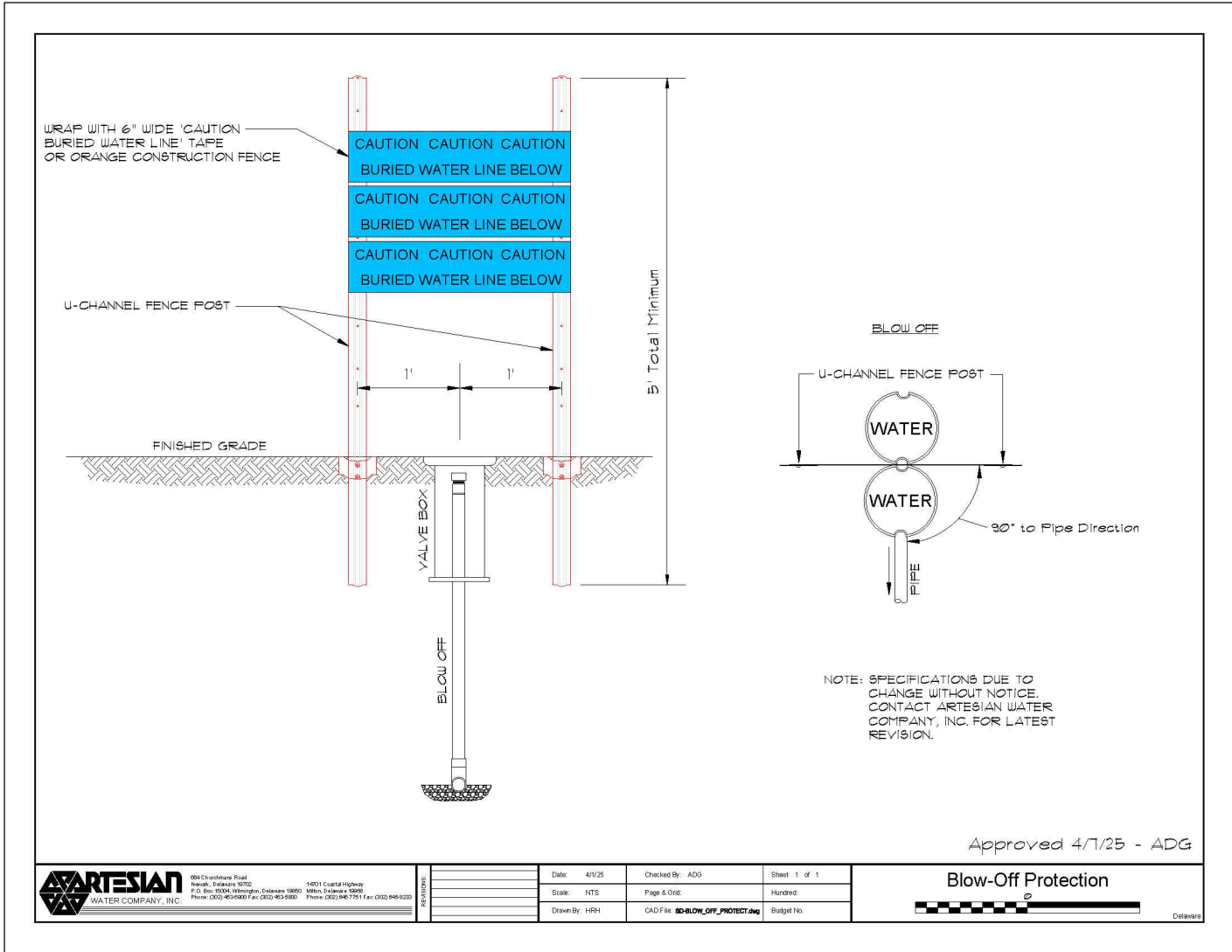
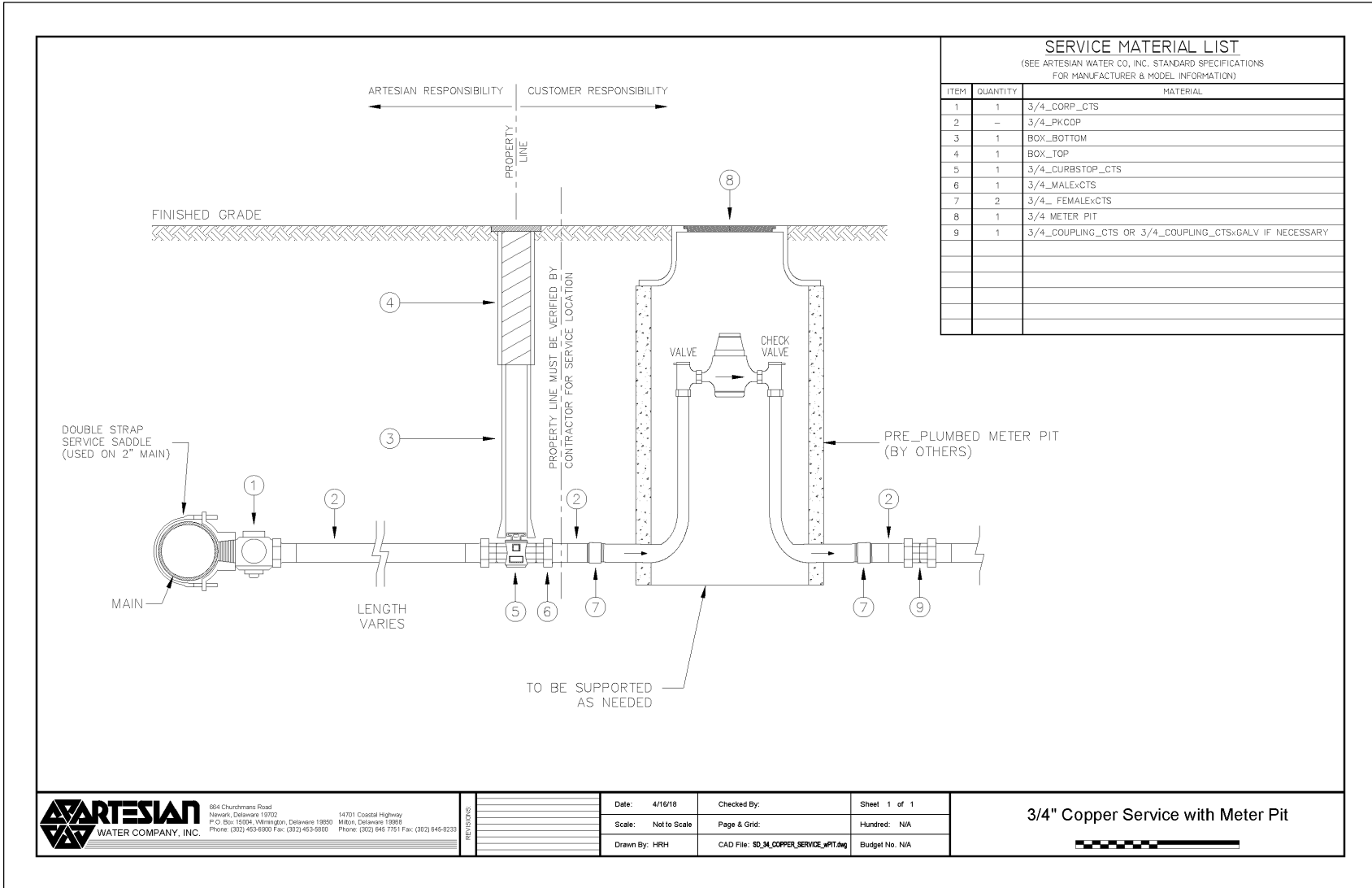
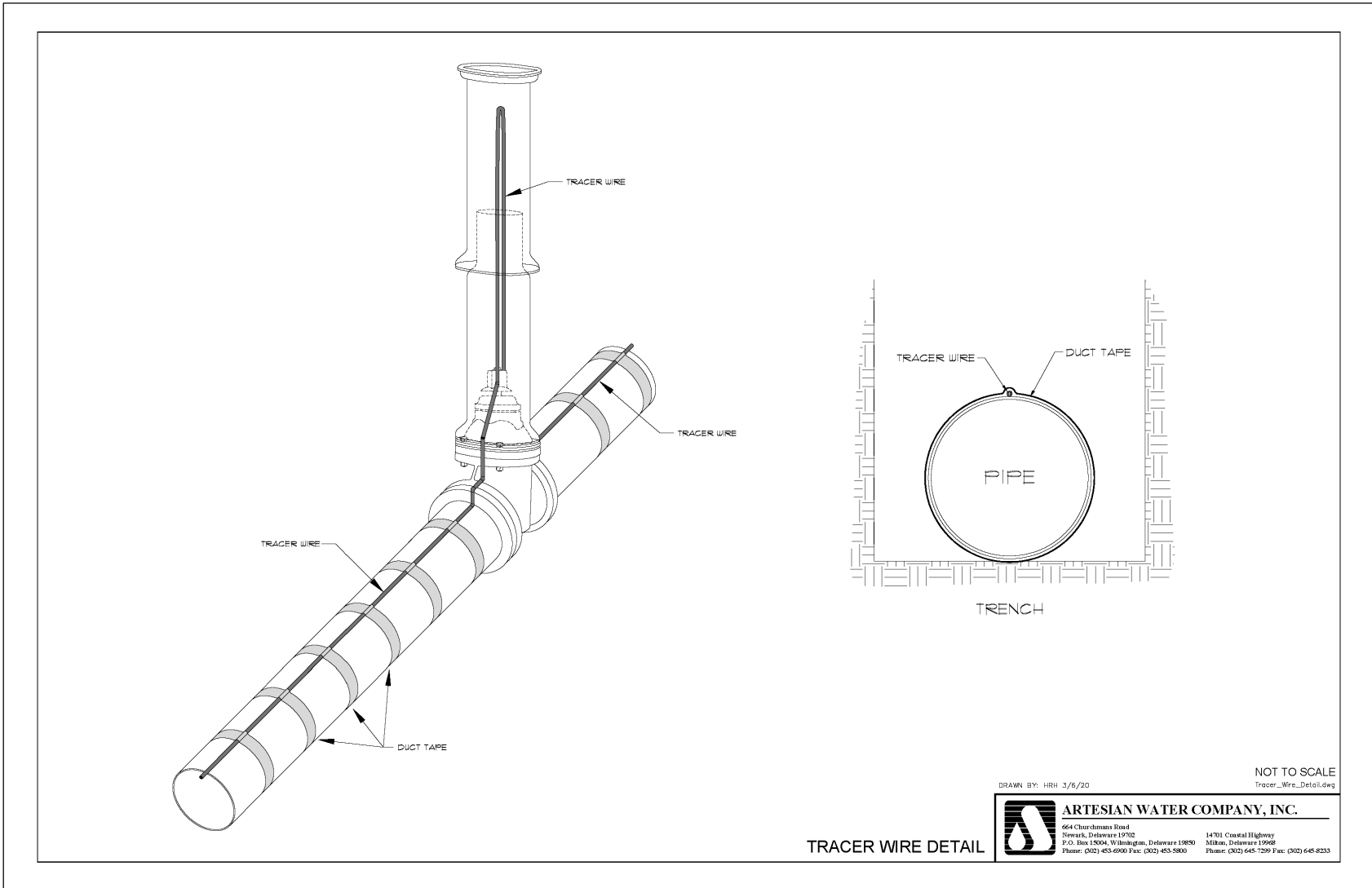
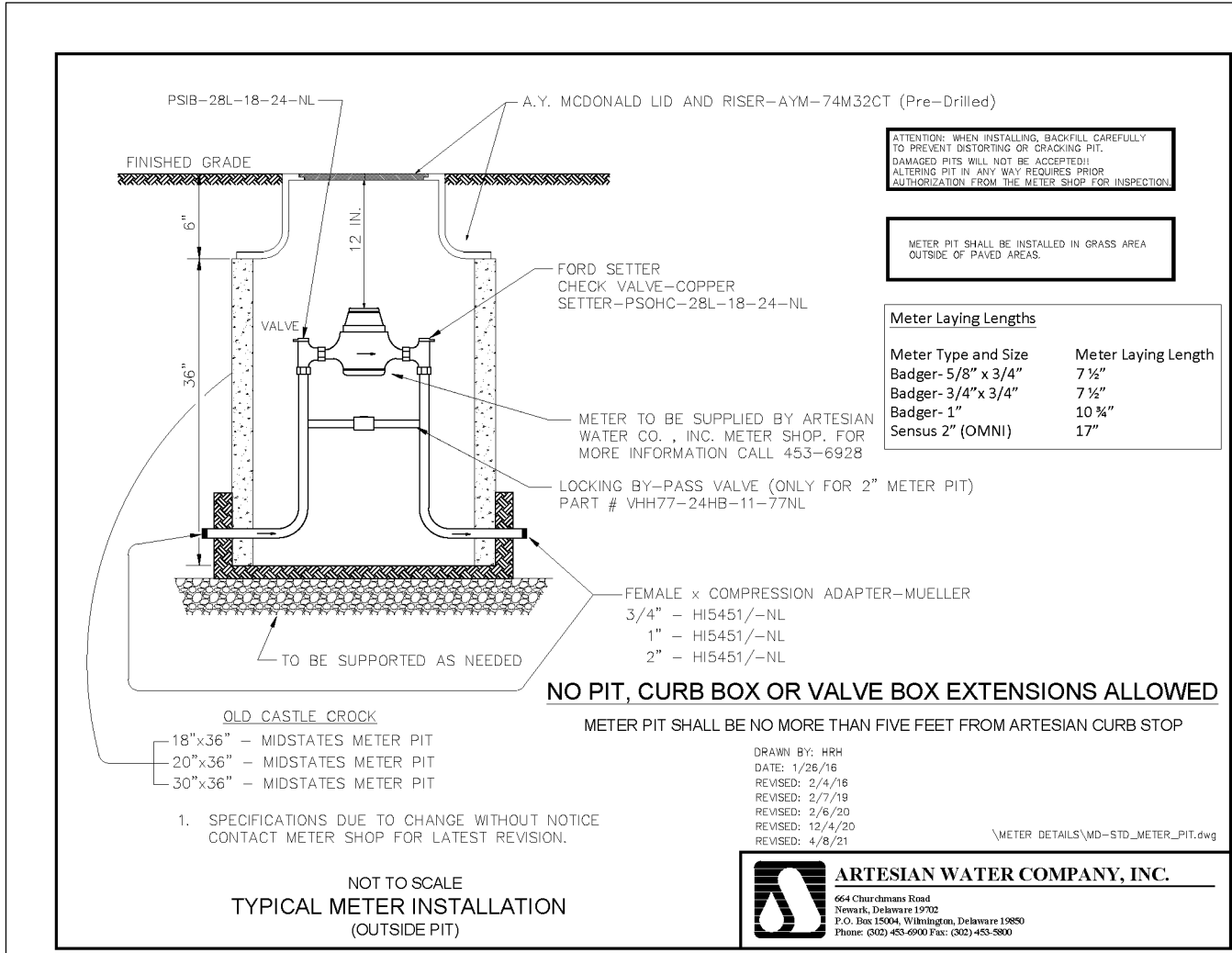
DRAWN BY: MES	SCALE: 1"=10'	DATE: 09/23/2025	SHEET: CW-01 OF 3	GRAPHIC SCALE: 0 10 20 40	COMMISSION: C3083-1	FILE NAME: C3083-1 Water Plan.dwg
DESIGN BY: MES	CHECK BY: CML	THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF LANDMARK SCIENCE & ENGINEERING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.	THIS DRAWING DOES NOT INCLUDE ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE RULES AND REGULATIONS THEREIN APPROPRIATE.	Landmark Science & Engineering		
200 CONTINENTAL DRIVE NEWARK, DE 19713 PHONE (302) 323-9467 FAX (302) 323-9467 WWW.LANDMARK-SE.COM INFO @ LANDMARK-SE.COM			P.O. BOX 299 NEWARK, DE 19713 PHONE (410) 393-1444 FAX (302) 323-9467 INFO @ LANDMARK-SE.COM			

APPROVED	10/13/25 - AWC REVISIONS	19/26
CML	2. CONFORMANCE SET	
APPLICATION NO. 2024- (S) WATER DISTRIBUTION PLAN FOR WALNUT STREET TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE OWNER/DEVELOPER INTERFAITH COMMUNITY HOUSING OF DELAWARE, INC. 1000 WALNUT STREET WILMINGTON, DE 19801 CROWERS@CHDC.ORG		



GENERAL NOTES

1. WATER SUPPLY BY ARTESIAN WATER COMPANY. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ARTESIAN WATER COMPANY STANDARDS AND SPECIFICATIONS.
2. ALL WATER MAINS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM SANITARY SEWER AND SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES.
3. THE ENTIRE WATER DISTRIBUTION SYSTEM MUST BE IN COMPLIANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND THE DELAWARE STATE DIVISION OF PUBLIC HEALTH.
4. FIXTURE LOCATIONS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF ARTESIAN WATER COMPANY.
5. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR UTILITY LOCATION.
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE TO EXISTING UTILITIES DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY REPAIRED AT HIS/HER EXPENSE.
7. PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ADJUST WATERLINE LOCATIONS AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPE.
9. THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
10. DISINFECTION REQUIREMENTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE STATE ENVIRONMENTAL PROTECTION AGENCY OR EQUIVALENT TO THE AMERICAN WATER WORKS ASSOCIATION STANDARD C60-08.
11. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3.5 FEET.
12. THE CONTRACTOR SHALL PROVIDE PRESSURE REDUCING VALVES IN UNITS, IF NECESSARY.
13. THE CONTRACTOR SHALL PROVIDE BUTTRESSES FOR ALL HORIZONTAL AND VERTICAL BENDS AS REQUIRED PER STANDARDS AND SPECIFICATIONS OF THE ARTESIAN WATER COMPANY.
14. EROSION CONTROL FOR WORK RELATED TO THE INSTALLATION OF WATERLINE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK OF 1989. SEE DETAIL SHEET 2 OF 2
15. THE CONTRACTOR SHALL INSTALL AIR RELEASE VALVES AS SPECIFIED IN FIELD.
16. ALL CUL-DE-SACS TO HAVE MINIMUM 38 FOOT CLEAR PAVED RADIUS.
17. ALL DWELLINGS ARE REQUIRED TO HAVE METER PITS WHICH ARE TO BE PURCHASED FROM ARTESIAN WATER CO. AND INSTALLED BY THE DEVELOPER AT HIS COST.



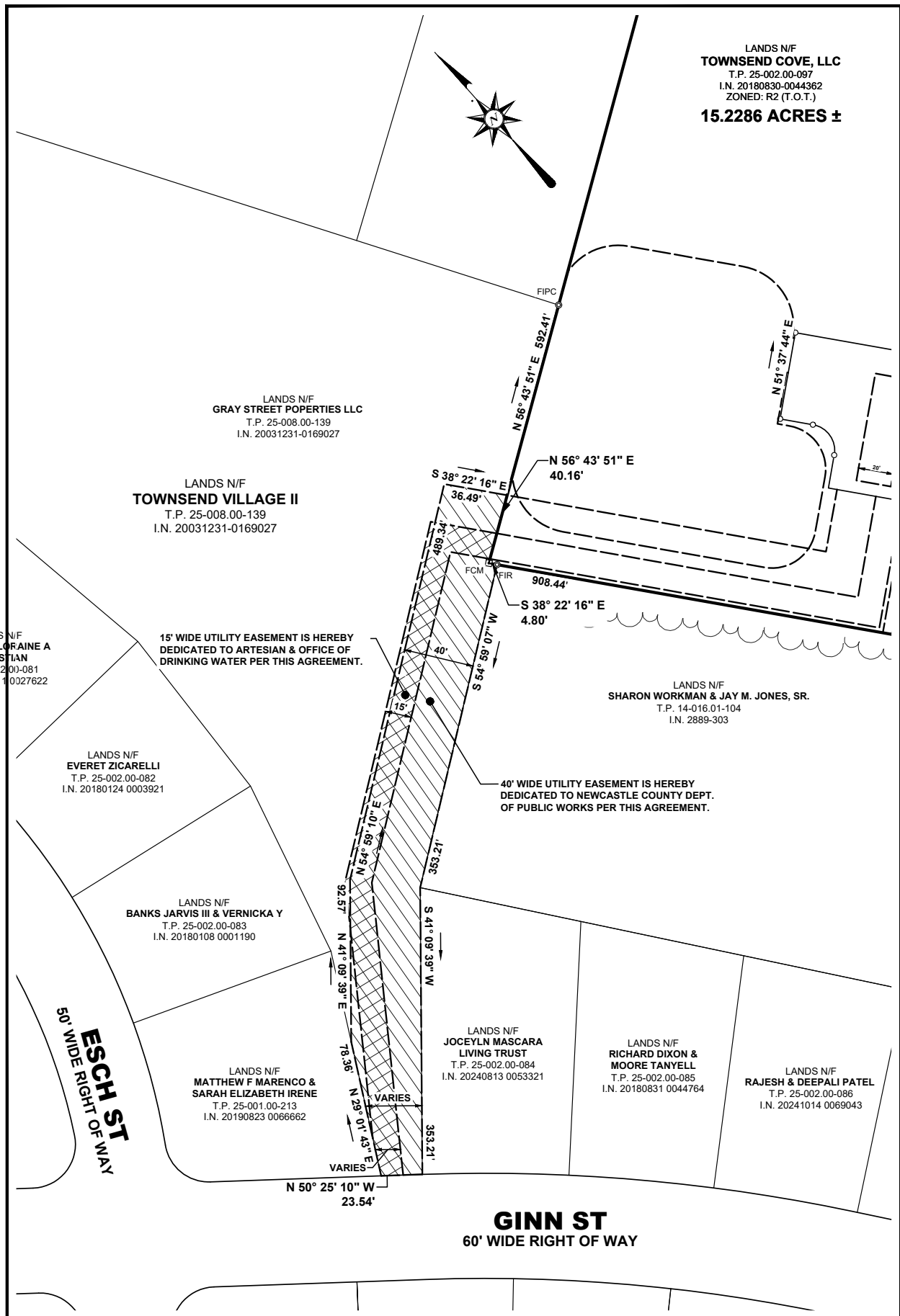
DRAWN BY: MES DESIGN BY: MES CHECK BY: CML	SCALE: AS SHOWN DATE: 09/23/2025 SHEET: CW-02 OF 03	GRAPHIC SCALE 0 10 20 40 FEET	COMMISSION: C2083-1	FILE NAME: C083-1 Water Plan.dwg	THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF LANDMARK SCIENCE & ENGINEERING. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.	THIS DRAWING DOES NOT INCLUDE CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.	200 CONTINENTAL DRIVE NEWARK, DE 19713 PHONE (302) 323-9467 FAX (302) 323-9467 WWW.LANDMARK-SE.COM INFO@LANDMARK-SE.COM	P.O. BOX 299 NEWARK, DE 19713 PHONE (410) 393-1443 FAX (302) 323-9461 INFO@LANDMARK-SE.COM	LANDMARK Science & Engineering	APPLICATION NO. 2024-____(S) WATER DISTRIBUTION PLAN FOR WALNUT STREET TOWN OF TOWNSEND - NEW CASTLE COUNTY, DELAWARE OWNER/DEVELOPER INTERMATH COMMUNITY HOUSING OF DELAWARE, INC. 1000 MARKET STREET WILMINGTON, DE 19801 CARLTON BOWERS CROWERS@CICHE.ORG	10/13/25 - AWC REVISIONS 2. CONFORMANCE SET	DESIGNED CML	19/26	CAL
												CHECKED CML		



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UTILITY EASEMENT EXHIBIT - TO BENEFIT  
NEWCASTLE COUNTY DEPT. OF PUBLIC WORKS  
ACROSS THE LANDS OF  
**GRAY STREET PROPERTIES LLC**  
APPOQUINIMINK HUNDRED / NEWCASTLE COUNTY / DE

NCC 6-5442



BECKER  
MORGAN  
GROUP

ARCHITECTURE  
ENGINEERING  
Dover, DE  
309 S. Governors Ave.  
Dover, DE 19904  
Ph. 302.734.7950  
Fax 302.734.7965

BMG: 2024141.00  
SCALE: 1" = 50'  
DATE: 10/01/2025  
DRAWN BY: R.J.M.  
**EXHIBIT A**



# TOWNSEND POLICE DEPARTMENT



661 South Street, P.O. Box 223, Townsend, DE 19734  
Office 302-464-1262 or 302-464-1237 / Emergency and Non-Emergency 911

## FEBRUARY 2026 Town Council Meeting Period: January 1, 2026 – January 30, 2025

- (1) Total Calls For Service - TPD: 17  
- DSP: 21

Civil Matter:	1	911 Disconnect:	5
Sex Offense:	0	AOA PI Crash:	1
PD Crash:	7	Psychiatric Incident:	1
AOA Domestic:	1	Suspicious Activity:	2
Traffic Service:	4	CPC:	1
Parking Violation:	0	Abuse/Neglect:	0
Traffic Hazard:	0	Welfare Check:	0
Burg Alarm:	6	AOA Welfare Check:	0
Public Assist:	3	Domestic Incident:	4
Repossession:	1	Court Violation:	1

- (2) School Traffic Details: 10

- (3) Participated in \_\_\_\_ Community Outreach Events:

### 2024 / 2025

- (4) 2024 Total Calls For Service – TPD: 487  
(5) 2025 Total Calls For Service – TPD: 584



# Town of Townsend Engineer's Report

**TO:** Julie Goodyear, Town Manager

**FROM:** Brian Miller, PE

**DATE:** January 30, 2026

---

## Permit Reviews

### TWNSD25001

Date	Description
1/13/2026	Returned review for permit 26-00058
1/20/2026	Returned review for permit 26-00061
1/20/2026	Returned review for permit 26-00062
1/20/2026	Returned review for permit 26-00063
1/26/2026	Returned review for permit 26-00064

## Capital Projects

### TWNSD25011 Public Works Building

Date	Description
12/15/2025	Provided proposal for requested services

## Development Projects

### TWNSD25003 Woods at Hidden Creek

Date	Description
12/29/2025	Provided Phase 7 Bonding Recommendation Letter

### TWNSD25007 Walnut Street West

Date	Description
1/29/2025	Reviewing the latest submission.



Scott Lobdell, Mayor  
Joseph Bangura, Councilman  
Matthew Chapman, Councilman  
Dylan Wiggins, Councilman  
Syed Sharif, Councilman



Julie Goodyear, Town Manager  
Jennifer Helms, Financial Officer  
Kelsey Gallagher, Town Clerk  
Brian Miller, Town Engineer  
Lisa Hatfield, Town Solicitor  
Julie Abrams, Administrative Assistant

## **Town Manager- Monthly Report**

January 2026 Recap

### **Townhall/TM:**

- TM attended Council Meeting- 1/7
- TM attended PWLUD MTG- 1/8
- TM & PWS attended required mtg with DNREC for Urban Tree & Forestry Grant- 1/9
- TM attended MTG with Polie Building Contractor to review inspection concerns- 1/13
- TM attended Planning Commission MTG- 1/13
- TM and PWS attended Bidders MTG for PW facility RFP- 1/16
- TM attended PS MTG- 1/21
- TM attended GIS Mapping Kick Off MTG- 1/21
- TM and Staff attended MTG with First State Inspection Agency to review relationship and performance along with Permit application improvements- 1/22
- TM attended Special Planning Commission MTG- 1/23
- TM attended MTG with GIS & Vialytics partners to establish relationship and integration- 1/27
- TM attended PS MTG- 1/30/2026
- TM attended Special Planning Commission MTG- 1/30/2026
- TM attended monthly PW staff MTG- 1/30
- 

### **Permits:** 11 permits issued in January

- Basement (2)
- Mechanical (1)
- New Construction (4)
- Plumbing (1)
- Pool (1)
- Shed (2)

### **Licensing:**

- 16 Contractor License issued/ renewed in January
  - 159 Active Contractor Licenses
- 8 Business Licenses renewed for 2026
- 9 Rental Licenses renewed for 2026

### **Grants:**

- UCF Grant- Tree Planting at Park
  - STATUS: Application prep started with site visit scheduled for 1/9 & soil testing ordered
    - Requesting funding to remove invasive trees and replace with Delaware approved trees.
- Game Time Grant: Playground Structures
  - STATUS: Application Submitted 9/12/2025
    - Requesting \$100,000 for new playground equipment for the Smaller park revamp.

**P.O. Box 223 · 141 Main Street · Townsend, DE 19734**  
**Phone (302) 378-8082 · Fax: (302) 378-7099 · <https://townsend.delaware.gov> ·**  
**[townhall@townsend.delaware.gov](mailto:townhall@townsend.delaware.gov)**



**Rentals: 0 Park, Pavillion or gazebo Rentals in January**

**Code Enforcement:** 0 Violation(s) Issued

**Property Information Requests: 23** (Generating \$230.00 in revenue)

- |                 |                 |                 |
|-----------------|-----------------|-----------------|
| • 25-001.00-120 | • 25-002.00-076 | • 25-004.00-086 |
| • 25-004.00-067 | • 25-004.00-052 | • 25-002.00-029 |
| • 25-001.00-057 | • 25-004.00-084 | • 25-008.00-193 |
| • 25-001.00-110 | • 25-004.00-126 | • 25-001.00-019 |
| • 25-001.00-129 | • 25-004.00-278 | • 25-004.00-308 |
| • 25-001.00-142 | • 25-008.00-091 | • 25-004.00-307 |
| • 25-002.00-048 | • 25-008.00-102 | • 25-004.00-303 |
| • 25-002.00-048 | • 25-008.00-112 |                 |

**FOIA Requests: 5 Requests**

- Permit information for time period (12/1/25 to 12/31/2025)
- Permit and Violation History for 412 Main Street
- Permit and Violation History for 412 Main Street
- Permit and development history for areas near 893 Noxontown Road.
- Records request for any installation or removal of storage tanks near 648 Caldwell Corner Rd.

**Owner Complaints:**

Multiple snow complaints received for the snow event that originated on 1/25/2026. Please see PWS report for additional details of complaints.

Respectfully Submitted,

Julie Goodyear  
Town Manager





**TOWN OF TOWNSEND**  
**GENERAL FUND INCOME STATEMENT**  
**December 31, 2025**

<b>REVENUES</b>	<b>BUDGET</b>	<b>ACTUAL</b>	<b>OVER/(UNDER)</b>	<b>Target % for Dec 50%</b>
Fire House Impact Fees	15,000.00	6,000.00	(9,000.00)	40%
Franchise Fees	18,000.00	11,877.52	(6,122.48)	66%
Interest Income	153,500.00	93,118.81	(60,381.19)	61%
Miscellaneous Income	60,650.00	2,600.68	(58,049.32)	4%
Property Transfer Taxes	300,000.00	161,175.43	(138,824.57)	54%
Real Estate Property Tax	834,200.00	846,373.22	12,173.22	101%
Violations, Fines & Penalties	2,500.00	1,040.00	(1,460.00)	42%
Rental Registration Fee	1,700.00	440.00	(1,260.00)	26%
<b>Total Administrative Revenues</b>	<b>1,385,550.00</b>	<b>1,122,625.66</b>	<b>(262,924.34)</b>	<b>81%</b>
Impact Fees	135,000.00	54,000.00	(81,000.00)	40%
Licenses & Fees	73,600.00	21,185.00	(52,415.00)	29%
Town Permits	103,700.00	76,739.12	(26,960.88)	74%
<b>Total Permits &amp; Licenses Revenues</b>	<b>312,300.00</b>	<b>151,924.12</b>	<b>(160,375.88)</b>	<b>49%</b>
Miscellaneous Income PW	-	227.00	227.00	
<b>Total Public Works Revenues</b>	<b>-</b>	<b>227.00</b>	<b>227.00</b>	
Park rental	2,000.00	425.00	(1,575.00)	21%
<b>Total Park &amp; Recreation Revenues</b>	<b>2,000.00</b>	<b>425.00</b>	<b>(1,575.00)</b>	<b>21%</b>
Grants Revenue	119,100.00	31,023.62	(88,076.38)	26%



Municipal Street Aid Grant	59,800.00	28,801.18	(30,998.82)	48%
<b>Total Grant Revenues</b>	<b>178,900.00</b>	<b>59,824.80</b>	<b>(119,075.20)</b>	<b>33%</b>
Community Events: Donations	-	480.00	480.00	
Town Fair Donation	5,000.00	-	(5,000.00)	0%
Veterans & Social Services Donations	-	134.00	134.00	
Community Events: Town Fair	5,500.00	(50.00)	(5,550.00)	-1%
<b>Total Community Events Revenues</b>	<b>10,500.00</b>	<b>564.00</b>	<b>(9,936.00)</b>	<b>5%</b>
<b>General Fund Revenue Totals</b>	<b>1,889,250.00</b>	<b>1,335,363.58</b>	<b>(553,886.42)</b>	<b>71%</b>

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target %
				for Dec 50%
Fire House Impact Fees	15,000.00	-	(15,000.00)	0%
Accounting Audit	25,000.00	23,000.00	(2,000.00)	92%
Investments Fees	27,000.00	13,380.39	(13,619.61)	50%
Computer/Software Support	89,200.00	71,933.01	(17,266.99)	81%
Copier Maintenance Agreement	1,300.00	643.80	(656.20)	50%
Town Insurance	33,800.00	34,964.20	1,164.20	103%
Town Hall Cleaning/Pest Ctrl	1,350.00	1,050.00	(300.00)	78%
Membership Fees	1,800.00	325.00	(1,475.00)	18%
General Town Hall Expenses	7,200.00	664.64	(6,535.36)	9%
Security System @ 141 Main Street	1,000.00	623.00	(377.00)	62%
Office Supplies	2,000.00	762.66	(1,237.34)	38%
Postage & Delivery	4,000.00	800.77	(3,199.23)	20%
General Legal	35,000.00	25,454.05	(9,545.95)	73%
Subscription Fee	1,100.00	-	(1,100.00)	0%
Training Classes	2,500.00	-	(2,500.00)	0%
Trash Collection Service	256,600.00	126,729.18	(129,870.82)	49%
Utilities - Town Hall	16,300.00	7,447.06	(8,852.94)	46%
Miscellaneous Expense	7,100.00	3,593.18	(3,506.82)	51%
<b>Total Administrative Expenditures</b>	<b>527,250.00</b>	<b>311,370.94</b>	<b>(215,879.06)</b>	<b>59%</b>



EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec 50%
Payroll & Benefits	499,900.00	243,328.03	(256,571.97)	49%
<b>Total Payroll Expenditures</b>	<b>499,900.00</b>	<b>243,328.03</b>	<b>(256,571.97)</b>	<b>49%</b>
Street Lights	106,070.00	55,328.39	(50,741.61)	52%
<b>Total Street Lights Expenditures</b>	<b>106,070.00</b>	<b>55,328.39</b>	<b>(50,741.61)</b>	<b>52%</b>
General Engineering	50,400.00	5,667.50	(44,732.50)	11%
Studies	-	18,322.40	18,322.40	
Code Enf/Inspections	55,000.00	21,068.72	(33,931.28)	38%
Lot Grading Reviews	11,000.00	-	(11,000.00)	0%
Charter/Comp Plan Fees	1,000.00	-	(1,000.00)	0%
<b>Total Code &amp; Planning Expenditures</b>	<b>117,400.00</b>	<b>45,058.62</b>	<b>(72,341.38)</b>	<b>38%</b>
Town Equipment Fuel	4,000.00	1,618.21	(2,381.79)	40%
Park Maintenance Expense	36,000.00	21,381.75	(14,618.25)	59%
Vehicle/Equipment Maintenance	4,450.00	3,081.12	(1,368.88)	69%
Public Works Equipment	500.00	483.23	(16.77)	97%
Public Works Uniforms	1,800.00	513.41	(1,286.59)	29%
Municipal Street Aid (Control Account)	-	-	-	
Street, Sidewalk & Curb Maintenance	30,500.00	14,012.96	(16,487.04)	46%
Snow Removal	12,900.00	5,139.80	(7,760.20)	40%
<b>Total Public Works Expenditures</b>	<b>90,150.00</b>	<b>46,230.48</b>	<b>(43,919.52)</b>	<b>51%</b>
Community Relations	1,150.00	500.00	(650.00)	43%
Community Events Expense	11,800.00	2,221.01	(9,578.99)	19%
National Wildlife Foundation/Habitats	600.00	-	(600.00)	0%
<b>Total Community Events Expenditures</b>	<b>13,550.00</b>	<b>2,721.01</b>	<b>(10,828.99)</b>	<b>20%</b>
<b>General Fund Operating Expenditure Totals</b>	<b>1,354,320.00</b>	<b>704,037.47</b>	<b>(650,282.53)</b>	<b>52%</b>



EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec 50%
Public Works Capital Expense	124,800.00	13,248.00	(111,552.00)	11%
Capital Expenses	210,000.00	-	(210,000.00)	0%
<b>Total Capital Expenses</b>	<b>334,800.00</b>	<b>13,248.00</b>	<b>(321,552.00)</b>	<b>4%</b>
<b>General Fund Capital Expenditure Totals</b>	<b>334,800.00</b>	<b>13,248.00</b>	<b>(321,552.00)</b>	<b>4%</b>





**TOWN OF TOWNSEND**  
**POLICE INCOME STATEMENT**  
**December 31, 2025**

REVENUES	BUDGET	ACTUAL	OVER/(UNDER)	Target %
				for Dec 50%
Impact Fees: Public Safety	30,000.00	12,000.00	(18,000.00)	40%
Fines - Police	12,000.00	3,833.61	(8,166.39)	32%
Grant Revenue	673,300.00	300,000.00	(373,300.00)	45%
Miscellaneous Income	4,800.00	2,000.00	(2,800.00)	42%
Transfers In	199,970.00	-	(199,970.00)	0%
<b>Police Fund Revenue Totals</b>	<b>920,070.00</b>	<b>317,833.61</b>	<b>(602,236.39)</b>	<b>35%</b>

EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target %
				for Dec 50%
Repairs & Maint - Vehicles/Equipment	9,400.00	588.37	(8,811.63)	6%
Security System - 661 South St	4,100.00	-	(4,100.00)	0%
Computer/Software Expense	900.00	822.50	(77.50)	91%
PD Equipment/Office Equipment	5,500.00	1,519.96	(3,980.04)	28%
Training Classes	5,700.00	1,962.27	(3,737.73)	34%
Fuel	10,100.00	3,000.35	(7,099.65)	30%
Insurance - (Gen Liability & Property)	11,200.00	11,949.29	749.29	107%
Uniforms: PD	3,400.00	1,326.44	(2,073.56)	39%
General Engineering	1,000.00	-	(1,000.00)	0%
Legal Services	2,000.00	197.50	(1,802.50)	10%



EXPENDITURES	BUDGET	ACTUAL	OVER/(UNDER)	Target % for Dec 50%
Utilities - PD	19,000.00	6,927.48	(12,072.52)	36%
Miscellaneous Expense	5,000.00	3,071.31	(1,928.69)	61%
<b>Total Administrative Expenditures</b>	<b>77,300.00</b>	<b>31,365.47</b>	<b>(45,934.53)</b>	<b>41%</b>
Payroll & Benefits	369,600.00	160,564.57	(209,035.43)	43%
<b>Total Payroll Expenditures</b>	<b>369,600.00</b>	<b>160,564.57</b>	<b>(209,035.43)</b>	<b>43%</b>
<b>Police Fund Operating Expenditure Totals</b>	<b>446,900.00</b>	<b>191,930.04</b>	<b>(254,969.96)</b>	<b>43%</b>
Capital Expense - PD	673,300.00	103,013.10	(570,286.90)	15%
<b>Police Fund Capital Expenditure Totals</b>	<b>673,300.00</b>	<b>103,013.10</b>	<b>(570,286.90)</b>	<b>15%</b>





**TOWN OF TOWNSEND**  
**SPECIAL REVENUE FUND INCOME STATEMENT**  
**December 31, 2025**

<b>REVENUES</b>	<b>BUDGET</b>	<b>ACTUAL</b>	<b>OVER/(UNDER)</b>	<b>Target % for Dec 50%</b>
Grants Revenue	50,900.00	-	(50,900.00)	0%
<b>Special Revenue Fund Revenue Totals</b>	<b>50,900.00</b>	<b>-</b>	<b>(50,900.00)</b>	<b>0%</b>

<b>EXPENDITURES</b>	<b>BUDGET</b>	<b>ACTUAL</b>	<b>OVER/(UNDER)</b>	<b>Target % for Dec 50%</b>
Capital Expenses - ARPA	50,900.00	450.00	(50,450.00)	1%
<b>Special Revenue Fund Expenditure Totals</b>	<b>50,900.00</b>	<b>450.00</b>	<b>(50,450.00)</b>	<b>1%</b>





**TOWN OF TOWNSEND**  
**POLICE GRANTS INCOME STATEMENT**  
 December 31, 2025

<b>REVENUES</b>	<b>BUDGET</b>	<b>ACTUAL</b>	<b>OVER/(UNDER)</b>	<b>Target % for Dec 50%</b>
Police Grants Revenue	34,000.00	27,680.40	(6,319.60)	81%
<b>Police Grants Fund Revenue Totals</b>	<b>34,000.00</b>	<b>27,680.40</b>	<b>(6,319.60)</b>	<b>81%</b>

<b>EXPENDITURES</b>	<b>BUDGET</b>	<b>ACTUAL</b>	<b>OVER/(UNDER)</b>	<b>Target % for Dec 50%</b>
Overtime	19,100.00	8,033.31	-11,066.69	42%
Misc Expense	9,400.00	0.00	-9,400.00	0%
<b>Police Grants Fund Expenditure Totals</b>	<b>28,500.00</b>	<b>8,033.31</b>	<b>-20,466.69</b>	<b>28%</b>
Misc Expense	5,500.00	5,487.70	(12.30)	100%
<b>Police Grants Capital Expenditure Totals</b>	<b>5,500.00</b>	<b>5,487.70</b>	<b>(12.30)</b>	<b>100%</b>



Scott Lobdell, Mayor  
Joseph Bangura, Councilman  
Matthew Chapman, Councilwoman  
Dylan K. Wiggins, Councilman  
Syed Sharif, Councilman



Julie Goodyear, Town Manager  
Jennifer Helms, Financial Officer  
Kelsey Gallagher, Town Clerk  
Julie Abrams, Administrative Assistant  
Brian Miller, P.E., Town Engineer  
Lisa Hatfield, Town Attorney

## **Public Works Supervisor – Monthly Report**

January 2026

### **\*\*\*Weather Update\*\*\***

#### **2 Weather Events**

- Sunday, January 18
  - Minor event with less than 2 inches
  - All town roads were treated with salt by PW
- Saturday, January 24<sup>th</sup> through Monday, January 26<sup>th</sup>
  - Major snow event with 8+ inches
  - Pretreatment of salt Saturday evening
  - Austin Bednash assist - Sunday, plowing began at 7:30am through Monday 2am - Town roads and streets
  - PW – plowed PD and TH Multiple times to keep clear
  - Monday – Tuesday – PW continued snow cleanup and salting at TH, Municipal Park sidewalk and parking lot, and Wiggins Mill Facility
  - Spot cleanup of snow and salting throughout the remainder of the week
- Issues –
  - Due to the low temperatures, salt is not effective at temperatures below 15° F. Sun and clear skies with light wind has helped.
  - Layers of ice have made it difficult to clear additional snow for walking trails at municipal park.

### **Public Works January Tasks / Projects:**

- Completed 52 Vialytics Tasks
- Sidewalk Assessment – Completed
  - Creating priority levels to determine repair
- Dodge Work Truck Repaired – Reverse gear not working
  - Transmission was repaired by Turn of the Wrench in Middletown
- F250 oil Change
- Toilet Replaced at PD
- F250 tire repair
  - Lag screw lodged in tire – plug repair done by PW at no cost
- Collected Soil Samples for tree replacement at Municipal Park
- Holiday decorations taken down throughout town with assistance from Middletown PW
- RFP for Public Works Facility opened
- TH HVAC system – 2 of 3 systems replaced by Summit Heating and Cooling
- Performed Evening light inspection

**P.O. Box 223 · 141 Main Street · Townsend, DE 19734**

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**[townhall@townsend.delaware.gov](mailto:townhall@townsend.delaware.gov)**



- 4 issues reported and corrected by DelMarva

**Upcoming February Tasks / Projects:**

- PW inventory log update
  - Prep for mulch removal and replace at South St Park
  - Order materials for South St Park fence
  - Remove old fence and install new split rail fence
    - \*\*\*Weather dependant\*\*\*
    - PW will perform the work
- 
- Became a member of APWA – American Public Works Association
  - Attended APWA Dinner – 1/15/2026
  - Attended Monthly DFIT meeting – 1/20/2026
  -



## Town of Townsend Snow Log

<b>Date of Event</b>	Saturday, January 24th, 2026 through Monday, January 26th, 2026	
<b>Time Efforts Started</b>	Saturday: PWS from 9am to 11am pre-salting Town Sunday: PWS from 9am to 11am plowing PD, 1pm to 3pm plowing PD Monday: PWS & crew start at 8am to 4pm Tuesday: PWS & crew 8am to 4pm Saturday: No Snow or inclement weather. Sunday: heavy snow accumulation =8" Monday: sprinkles of Snow Accumulation <2"	
<b>Weather Conditions</b>		
<b>Temperature:</b>	Saturday: 32°-40° Sunday: 17°- 24° Monday: 25°- 32°	Complaints Received:
<b>Staff involved</b>	Saturday: PWS- Rick Boyer Sunday: PWS- Rick Boyer Monday: All PW Crew members Saturday: N/A Sunday: Austin & Bednash Start time: 7:30am Monday: Austin & Bednash	Complaint #1: Cul de Sac of TVII West- lack of plowing Complaint #2: Hidden Creek and lack of plowing Complaint #3: TVI "poor plowing" and mailbox damages & lack of confidence in contracted company Complaint #4: TVII lack of clearing of snow from roadways- complaint of no tickets for vehicles who did not comply with street parking restrictions resulting in "sub-par" plowing Complaint #5: TVI resident complaint of being "plowed into their driveway" Complaint #6: TVI resident stated lack of prep from Town resulted in poor corrections Complaint #7: Ginn St. resident concerns with mailbox access for USPS Complaint #8: TVI resident does not like the one lane pass on roads to remove snow, feels is should be curb to curb removal Complaint #9: Townsend Station- lack of ice corrections Complaint #10: TVI resident does not like the one lane pass- feels cars should be towed to get off the street for more space to plow
<b>Contractors Involved</b>		
<b>Scope of PW staff Effots</b>	Saturday: pre-salting Sunday: plowing PD Monday: Plowing PD & snow removal of sidewalks & public spaces Tuesday: Municipal Park parking lot and sidewlk on Edgar Rd	
<b>Scope of Contractor Effots</b>	Saturday: N/A Sunday: Plowing Monday: N/A Saturday: None Sunday: None Monday: None Tuesday: None	
<b>Any Incidents Occur?</b>		
<b>Complaints</b>	Yes- see complaints in Public Drive Z:\Public Works\Snow\Snow Event 1.25.26\Complaints	

Completed By: Richard Boyer - PWS Date: 1/29/2026

Reviewed By: Julie Goodyear, Town Manager Date: 1/30/2026